



**Grand Trunk Railway
(GTR) Shops**

REHABILITATE THE BUILDING



Financed by Indoor Parking

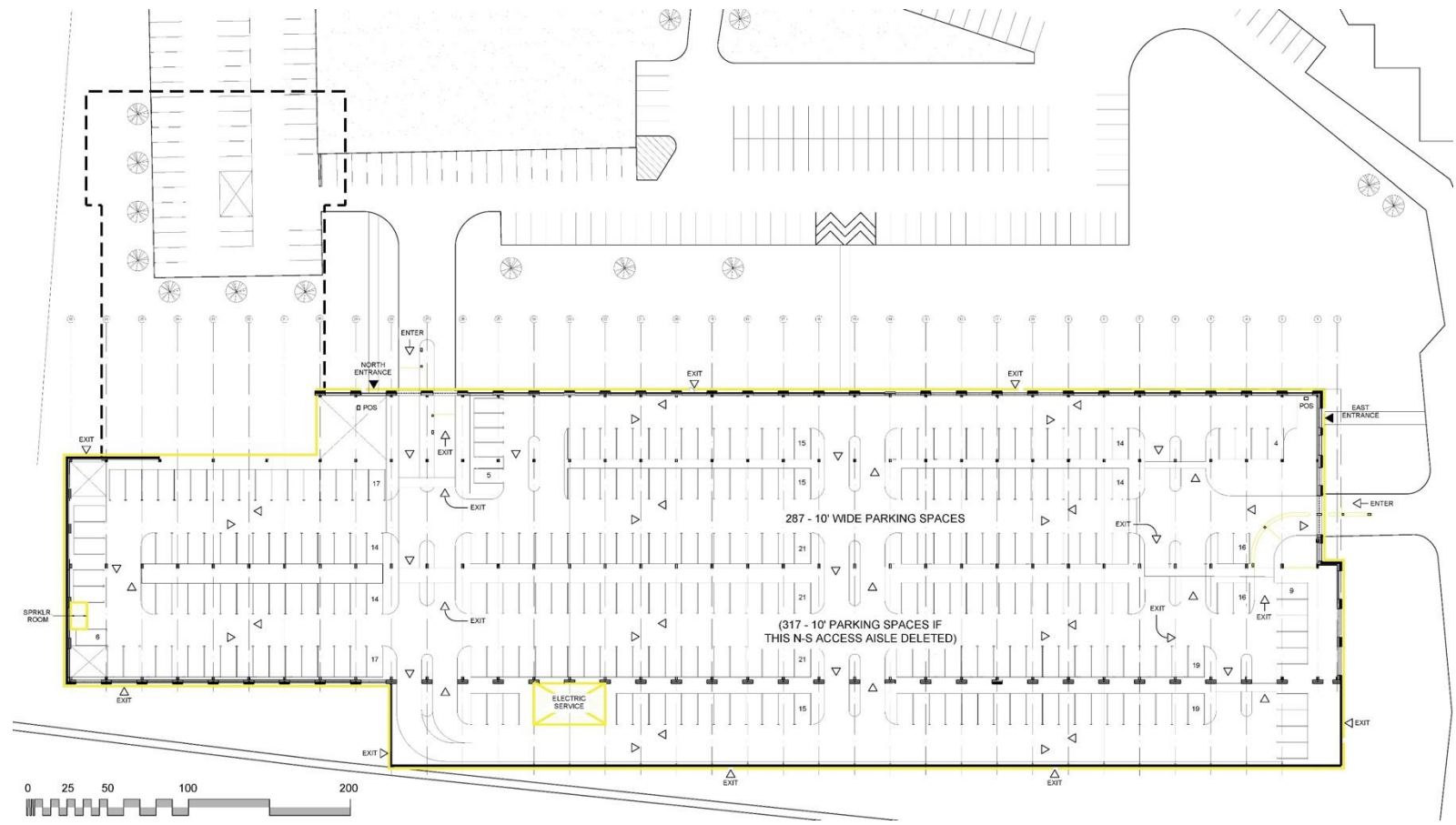
R. RITZ ARCHITECT INC.



REHABILITATE THE BUILDING

RR

PHASE R - FINANCED BY INDOOR PARKING





REHABILITATE THE BUILDING

RR

PHASE R - FINANCED BY INDOOR PARKING

The Building

Rehabilitate \$12 million

Develop into 287 to 317-10' wide or 349-9'3" parking garage to generate income

\$1.3 million sprinkler system, ventilation and signaling

\$0.1 million floor prep, lines and parking garage equipment

Expense \$13.4 million = \$74,838/month – Min. income required, 317-\$236/month, 349 – \$215/month

The Site

17.29 acres

contaminated soil

2.28 acres remediated for the development of the university campus and the transit hub

3.76 acres existing building

3.85 acres railway easement

9.58 acres net area with building

The Debt

Existing \$27 million or \$2.82 million per acre



REHABILITATE THE BUILDING **FINANCED BY INDOOR PARKING** **& REALLOCATED DEMOLITION FUNDS**

The Building

Rehabilitate \$12 million less \$4 million that would have been spent if it was demolished = \$8 million

Develop into 287 to 317-10'0" wide or 349-9'3" wide space parking garage to generate income

\$1.3 million sprinkler system, ventilation and signaling

\$0.1 million floor prep, lines and parking garage equipment

Expense \$9.4 million = \$52,500/month – Min. income required, 317-\$166/month, 349 – \$151/month

The Site

17.29 acres

contaminated soil

2.28 acres remediated for the development of the university campus and the transit hub

3.76 acres existing building

3.85 acres railway easement

9.58 acres net area with building

The Debt

Existing \$27 million + \$4 million = \$31 million or \$3.23 million per acre

