



**Grand Trunk Railway
(GTR) Shops**

UPDATE: PHASING



R. RITZ ARCHITECT INC.

UPDATE: PHASING

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The phases have been renumbered as letters to provide flexibility, so any phase can occur at any time.

Phase R - Rehabilitate the Building & Finance by Indoor Parking

Phase B – Building - The development of the building’s parking garage, concourse level, east wall and the locomotive area so other phases can then “just move in” to the floor area of the third-storey Concourse level.

Phase M – McKenzie - The development of the McKenzie Street Entrance, CNR Locomotive 6218 Display, East Concourse and Public Washrooms that will change the image of the building so that people will know what the finished project will look like.

Phase Y – YMCA - If the city decides to locate the SPS HQ at the existing YMCA, it will provide funds for the Y to invest in the GTR building. If the police want to develop the existing Y sooner rather than later, Phase Y would be among the first phases to proceed. This Phase includes the apartment. The profit from that development funds the remediation of the land where the pool addition is located and the capital costs to develop the three entrances and the building’s common space.

Phase P – Police Station – This phase would begin after the YMCA moves into the GTR Building, allowing the existing YMCA to be renovated and expanded to accommodate the needs of the new SPS – HQ.

Phase S – Stratford - The development of this phase will be determined by the Library securing the required funding to proceed. Once the funds are available, Phase S will proceed.

Phase A – Argyle – Like Phase S, it will depend on SACC receiving funds to develop its portion of the building or on the need for the Community Event Space, as determined by the City.



PHASE R

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Rehabilitate the Building & Finance by Indoor Parking

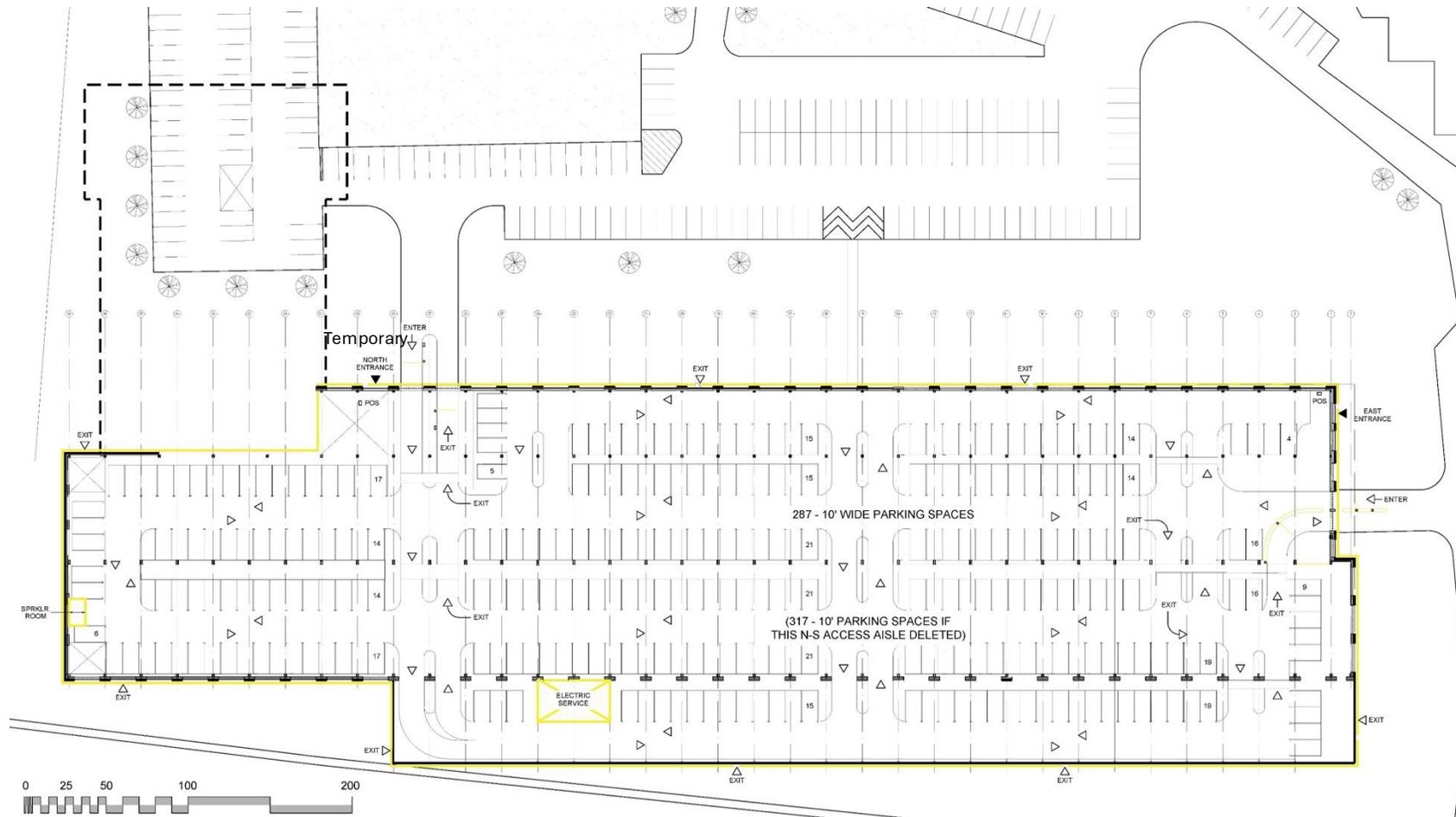
If the building is not demolished, and the future use as well as the timing of any construction remain uncertain, it is important to protect the structure to maintain its integrity during this period of vacancy. The most critical step is to immediately rehabilitate the entire existing structure. This will involve repairing, reinforcing, and safeguarding the building to restore its structural integrity and prepare it for future reuse. Part of this process includes installing a permanent, insulated roof that is designed to support future solar panels. This approach ensures the building remains available for future development.

As noted in the RJC Engineers 2012 Structural Analysis, the scope of this project includes removing the remaining roofing and deck, sandblasting all steel to achieve a bright, clean finish, replacing and reinforcing damaged and deteriorated purlins and truss members, and reinforcing the webs and flanges of deteriorated steel columns with all steel coated with Galvafruid or an equivalent protective coating. Deteriorated concrete slab around column bases will be chipped away and replaced, and damaged mezzanine concrete will be repaired. Delaminated areas of concrete walls were removed and repaired by injecting cracks. Brick veneer, masonry infill, and cladding will be repaired, and new cladding and glazing will be installed in the existing openings. A new insulated roof assembly, including strapping and decking designed to support future solar panels, will be completed. This includes the rebuild of soffits and fascias and the installation of new roof drains and water leaders.

To use the space as a parking garage, the existing interior concrete curbs and bases will be removed, the concrete floor slab will be patched and made good, and the floor area will be line-painted to define interior parking spaces. This use will also require the building to have a sprinkler system, a carbon monoxide exhaust and fresh air supply system, interior and emergency signaling, eight exterior exits, two temporary user entrances with parking POS, four automatic sectional doors for vehicle access and egress, and parking garage equipment to operate the system that will finance the building rehabilitation.



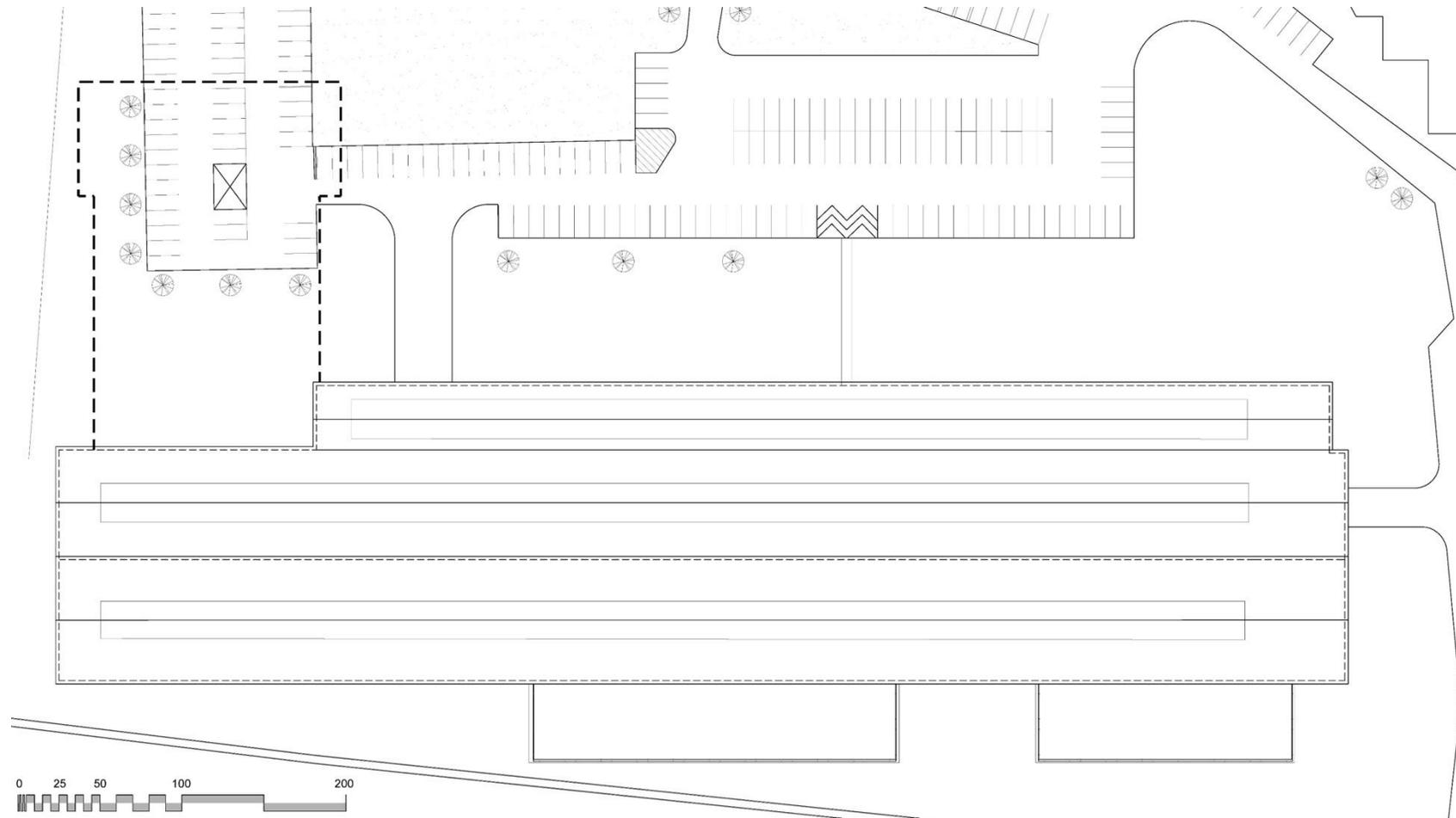
Rehabilitate the Building & Finance by Indoor Parking



PHASE R

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Rehabilitate the Building & Finance by Indoor Parking - Roof



PHASE B - Building

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Development of the Second Storey Parking Garage, Third Storey Concourse Level, East Wall Extension, Locomotive Area and Lowering the Annex Roof

This would be the first phase if the building is developed as proposed. In addition to the work completed in Phase B, the construction in this phase is to accommodate the subsequent phases so they can just “move in”.

This phase includes constructing additional floor levels within the building by leveraging the robust capacity of the existing steel columns, which once supported the dynamic live loads of the 200-ton crane beam. Although the columns have significant bearing capacity, limitations of precast floor spans and loads applied for the 50 PSF second-storey parking, the 150 PSF section of the Concourse Level Library, and the 150 PSF section of the fourth-storey Library required two lines of precast concrete columns and helical pier foundations to be added midspan in each bay.

Although the clear height to the underside of the existing trusses are 35 feet in the 65 feet wide bay and 50 feet in the 70 feet wide bay, they are a challenge for cranes installing precast columns and the hollow core floor system that resulted in additional crane set up time to build smaller areas of the floor versus one set up time for larger areas of the floor.

Reinforced cast-in-place concrete columns bearing on helical piers will bear the suspended, reinforced concrete floor system supporting the cantilevered east extension curtain wall window system, 100 PSF floor, 50 PSF roof and also the 1,000 PSF floor supporting the locomotive.

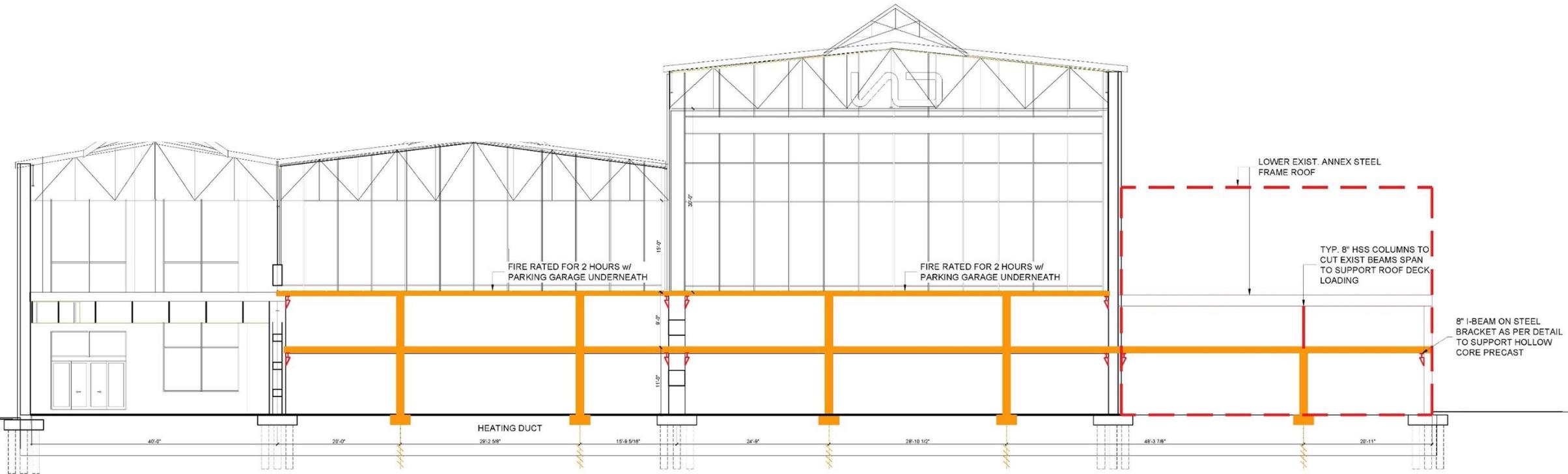
The structure of the third-storey Concourse Level is 20 feet above the existing floor inline with the existing reinforced concrete mezzanine. The second-storey parking garage is 11 feet above the existing floor, allowing about 10 feet of clear height under the vehicle bridge to the Argyle Pedestrian path.

The roof system is similar to Phase R; however, the roof of the 65-foot bay over the locomotive is raised, and skylights are added, as it is more economical to install skylights as part of the work rather than roofing over the skylights, removing the new roof, and installing skylights later.

Sections of the Mezzanine and Annex are demolished to create entrances and streets through the building, and the Annex roof is lowered to accommodate future rooftop patios. A freight elevator shaft would be developed in the Annex's east section.

PHASE B – Building Parking & Concourse **Level - Section**

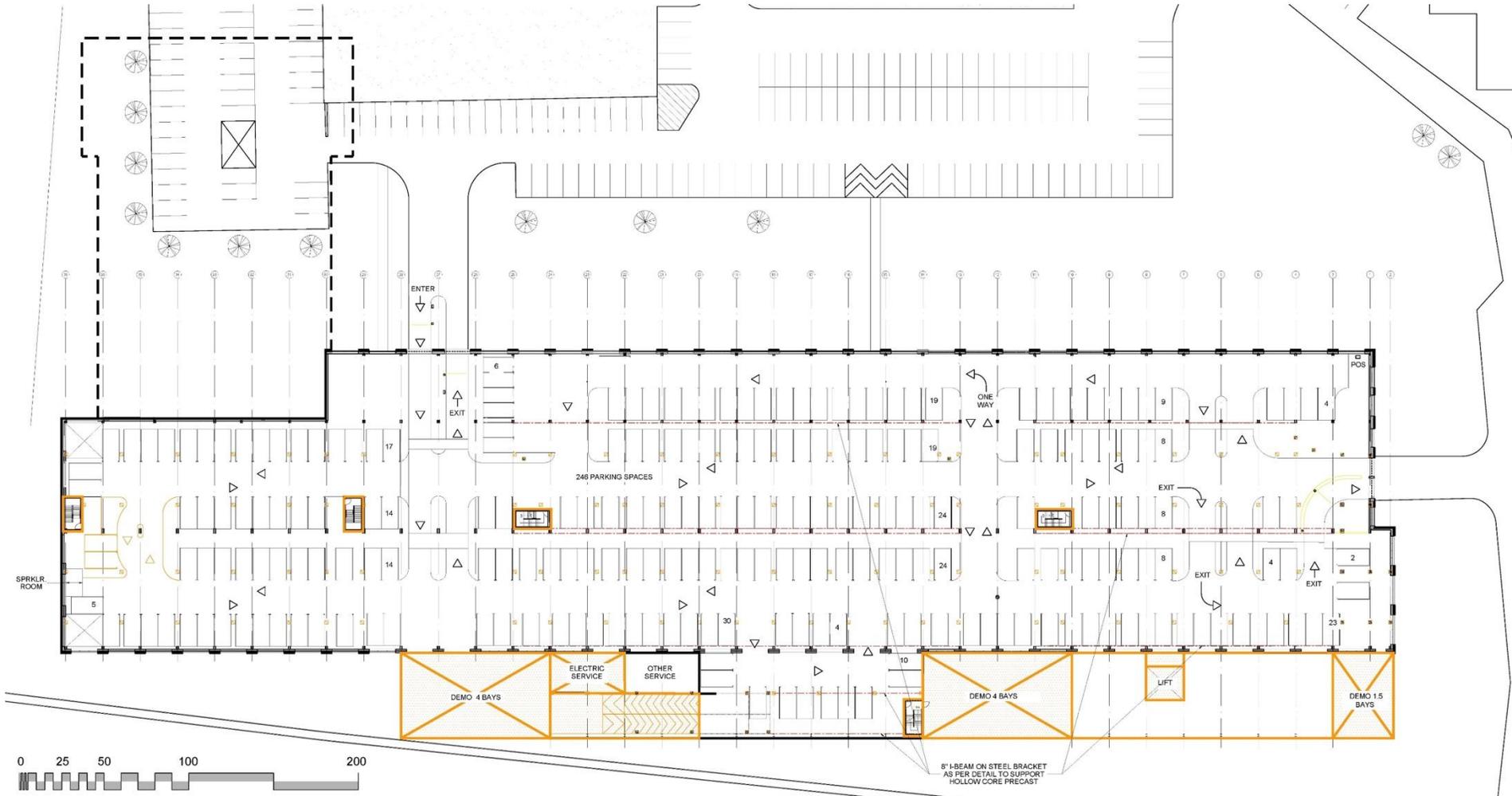
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PHASE B – Building Parking & Concourse

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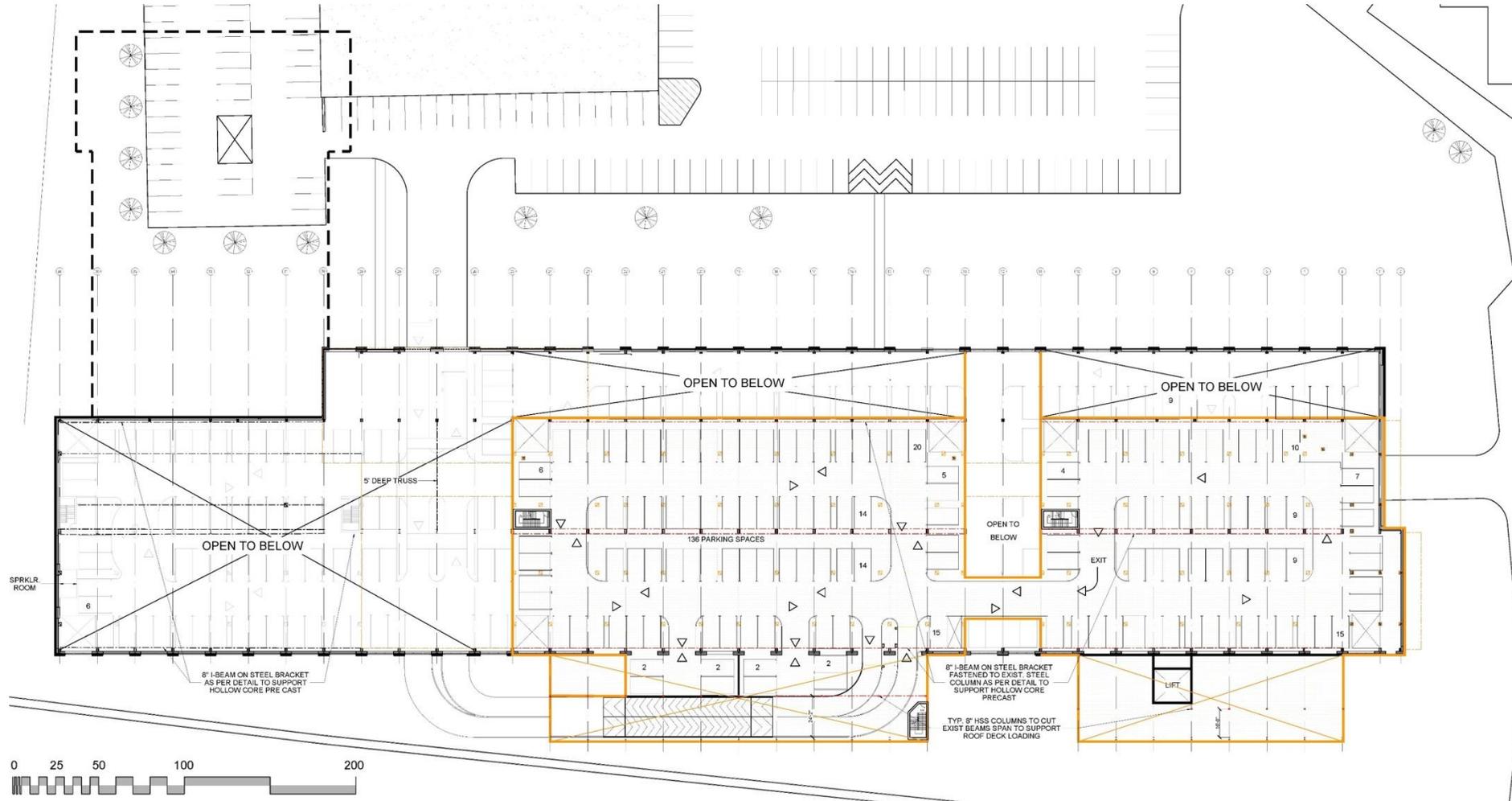
Level - First



PHASE B – Building Parking & Concourse

Level - Second

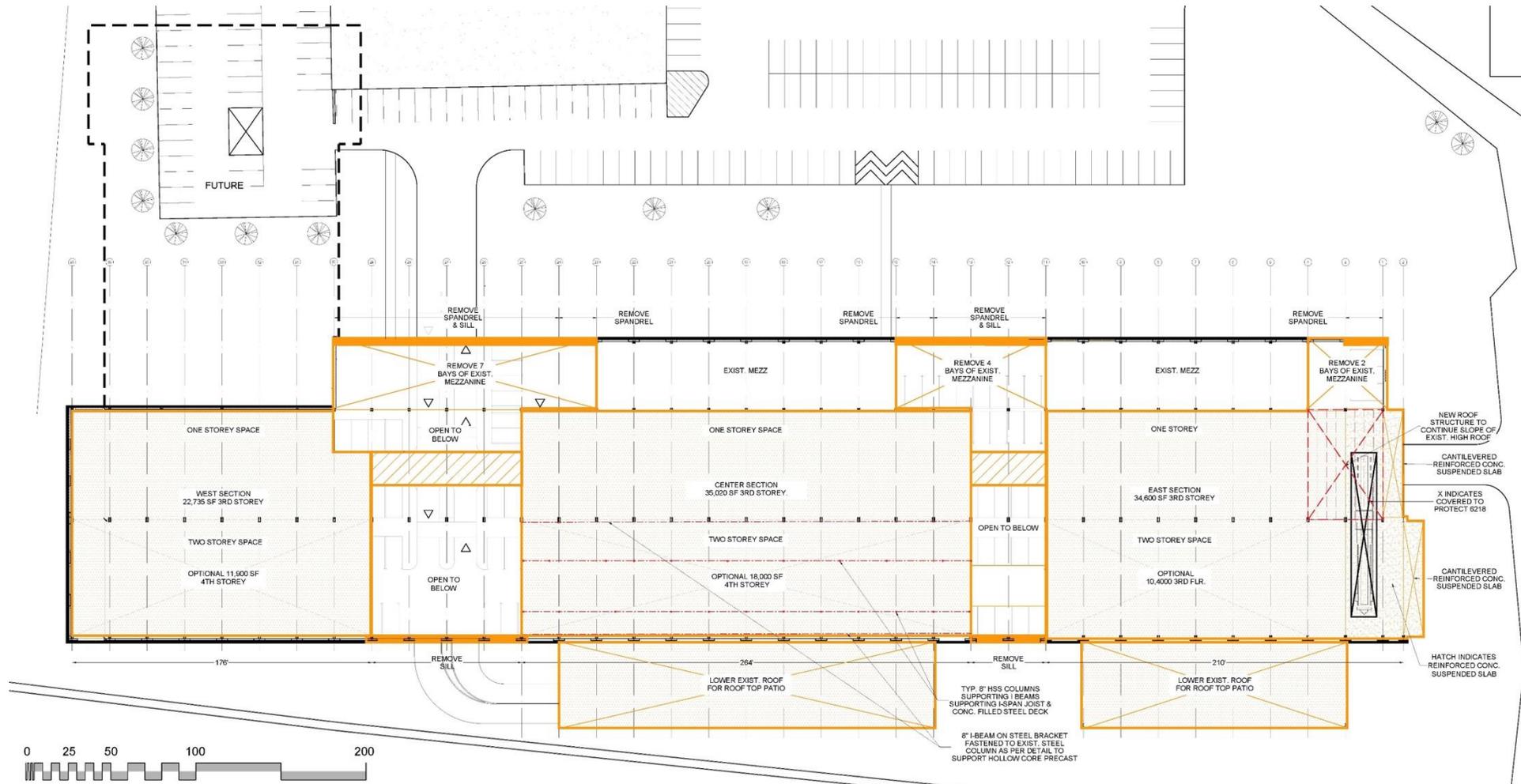
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PHASE B – Building Parking & Concourse

Level – Third - Concourse

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 **PHASE M – McKenize Street Entrance
& CNR 6218 Locomotive**

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PHASE M – Mckenize Street Entrance & CNR 6218 Locomotive

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Phase M – McKenzie – The development of the McKenzie Street Entrance, CNR Locomotive 6218 Display, East Concourse and Public Washrooms that will change the image of the building so that people will know what the finished project will look like.

Preferably, at an early stage, confirm if we can still acquire and transport CNR Locomotive 6218 to Stratford at no or low cost, at which time this phase would proceed. This is an important element in the project, as the operation of the railways' repair shops, where this locomotive was last overhauled, was in this building in the heart of the city, and for decades, it was also the heartbeat of the city. It enabled many advancements and activities and improved those already in the city.

The project involves lifting and lowering the 6218 unit through the roof and placing it on rails flush with the concourse floor and 1.5 feet above the cantilevered extension floor. This height ensures the bottom of the locomotive wheels is visible through the east curtain wall glazing from Downie Street. Flood and skylights illuminate 6218. A 42-inch-high tempered glass guard would be installed around the locomotive to deter climbing. Vertical access from the entrance level at grade is via an elevator and stairs to the second-level parking and to the third-storey Concourse Level, which is also served by two escalators.

The walls of the 20 foot wide East Concourse, centered in the 65 feet Bay, are developed and ready to be “punched” with openings to access other parts of this floor area, ending at an exit stair at the west end of the Concourse. The washrooms on the Concourse would have the capacity to accommodate the assembly uses anticipated for this section of the building.

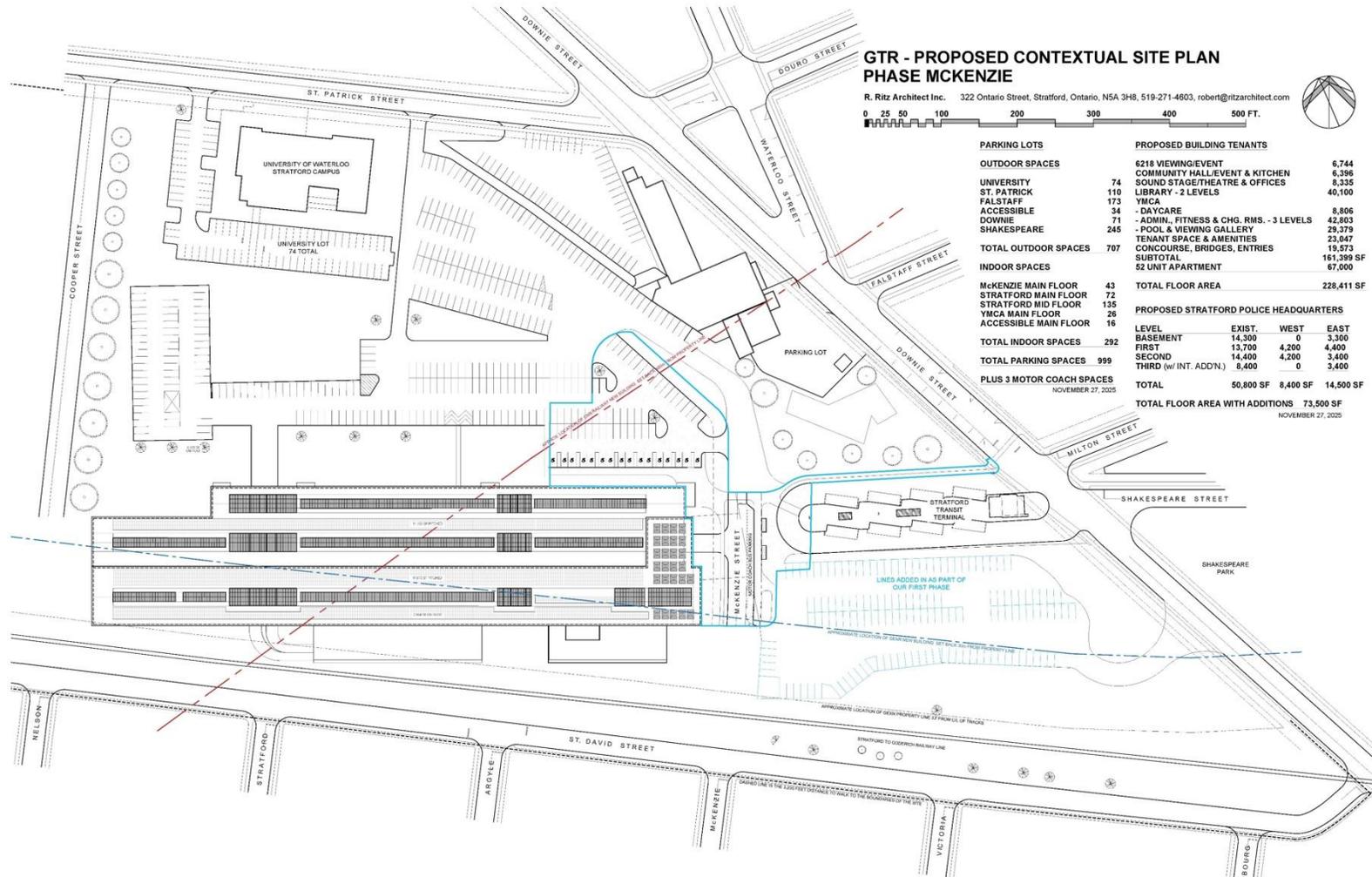
A temporary wall would be constructed between the 6218 Display and the remainder of the building and removed as the remaining floor area is developed in the 70 foot Bay.

The Parking Garage POS will be moved to the interior of this entrance, replacing the Temporary East Entrance.

A living wall honouring the region's indigenous peoples is proposed for installation above and around the elevator.

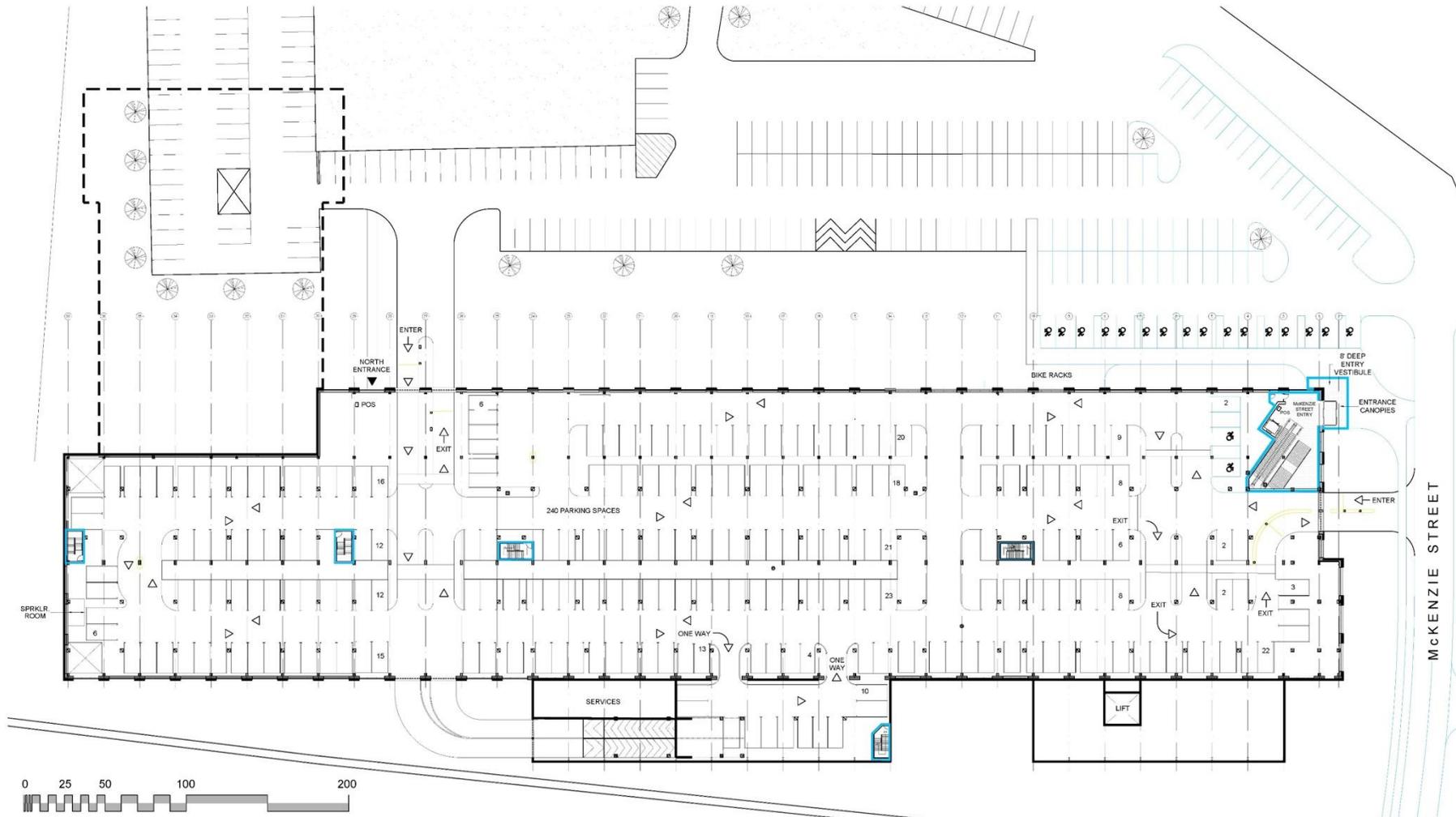
PHASE M - Mckenize Street Entrance & CNR 6218 Locomotive - Site

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PHASE M – Mckenize Street Entrance & CNR 6218 Locomotive - First

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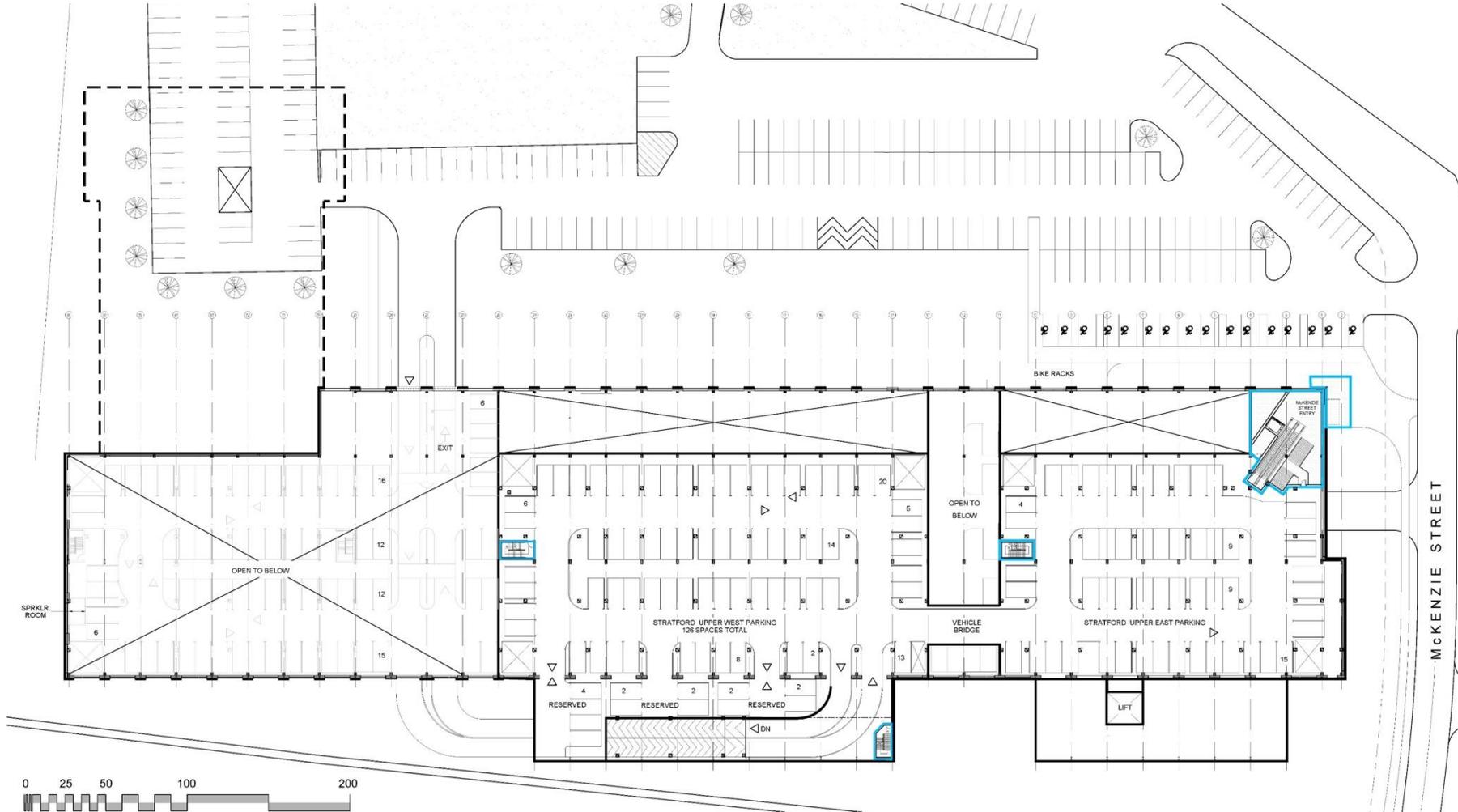




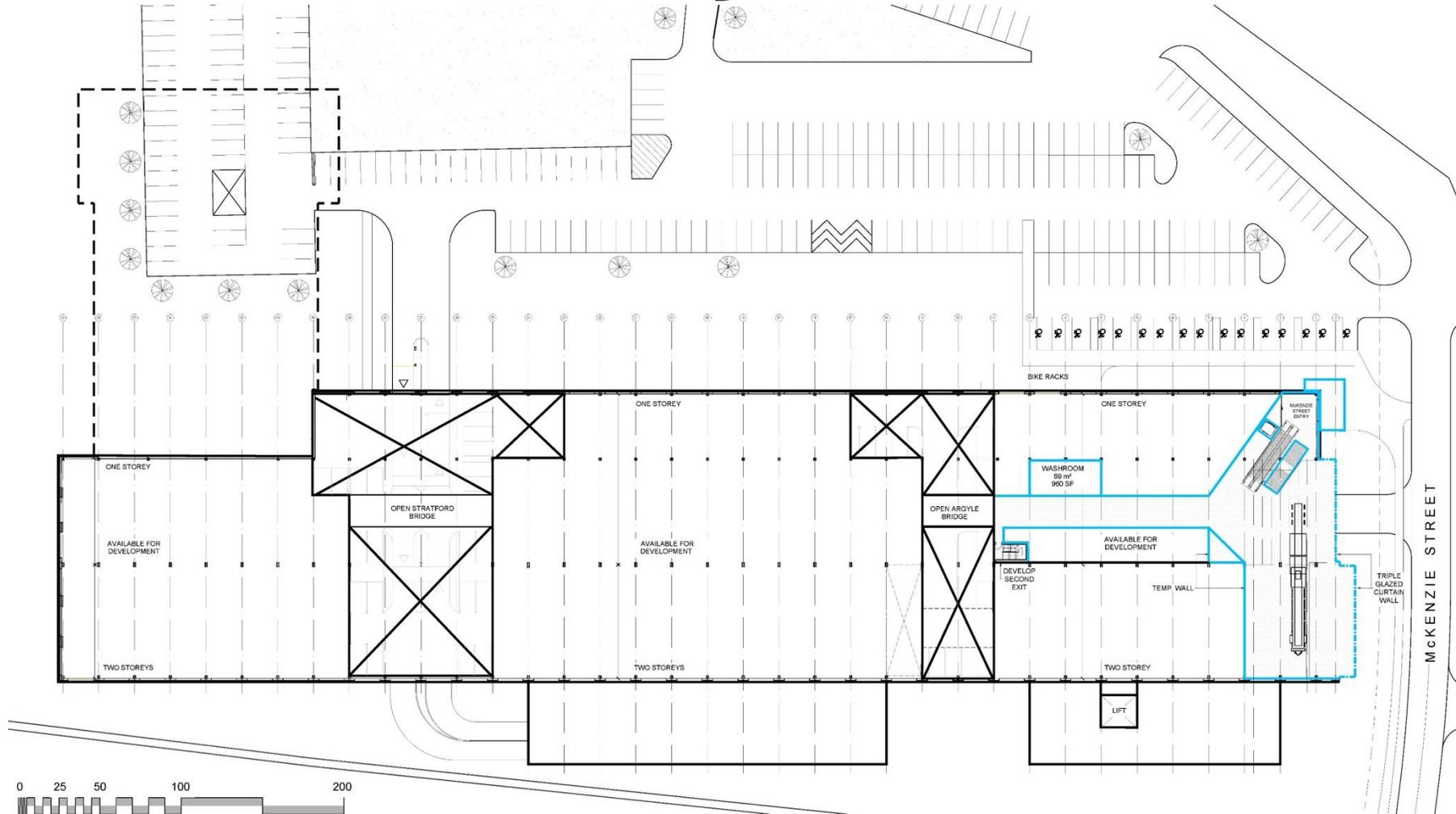
PHASE M – Mckenize Street Entrance

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& CNR 6218 Locomotive – Second Storey Parking

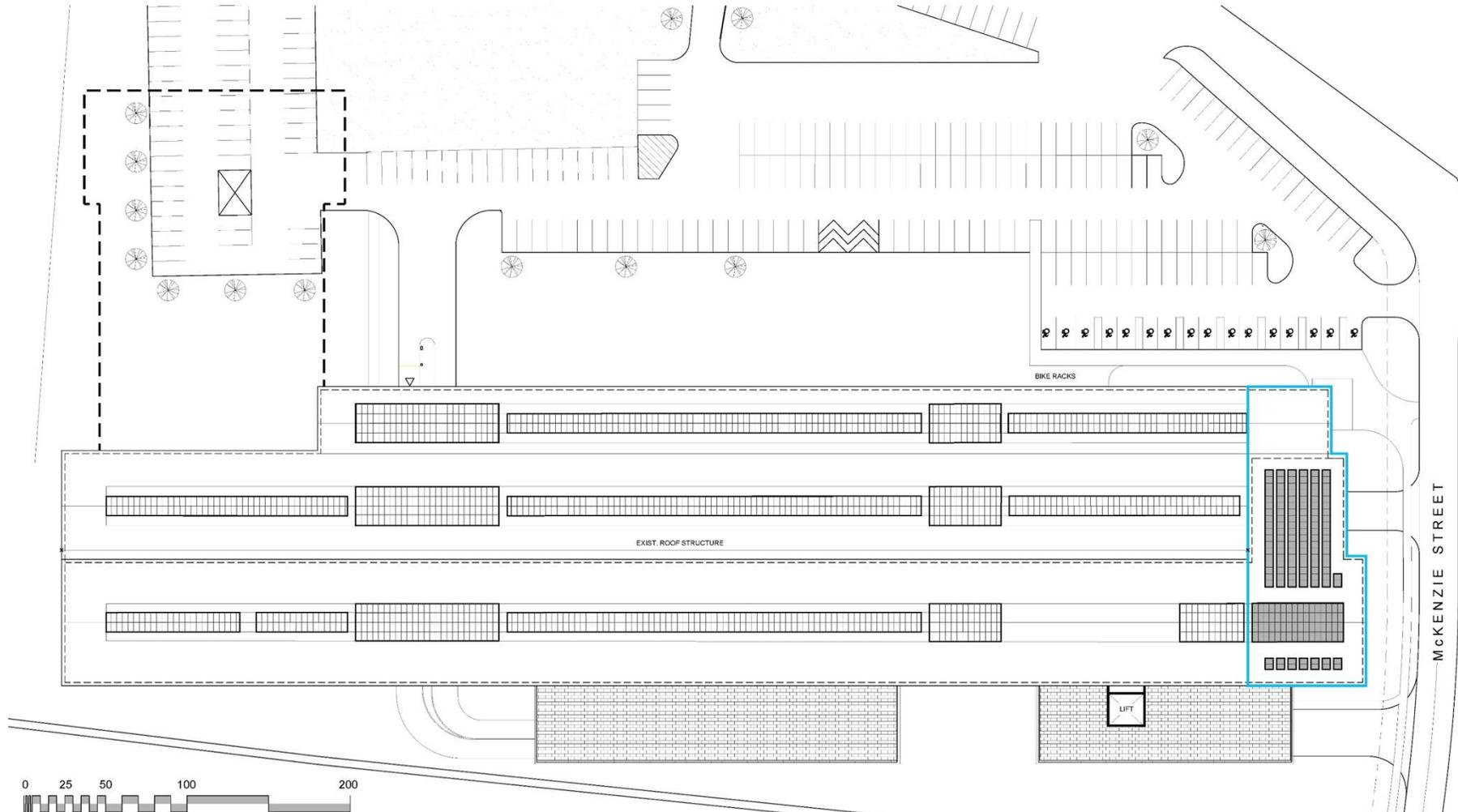


PHASE M – Mckenize Street Entrance & CNR 6218 RR **Locomotive – Third Storey - Concourse Level**



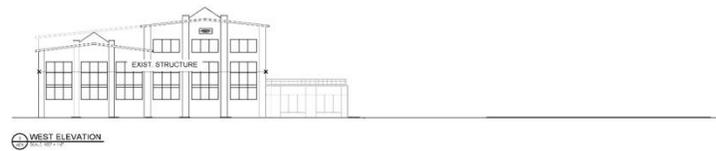
PHASE M – Mckenize Street Entrance & CNR 6218 Locomotive – Roof

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PHASE M – Mckenize Street Entrance & CNR 6218 Locomotive – Elevations

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PHASE A – Argyle Entrance & East Concourse

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PHASE A – Argyle Entrance, Community Event Space, Theatre & Restaurant

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Phase A – Argyle – The development of the Argyle Pedestrian Path Entrance, Community Event Space, Theatre and Restaurant.

The timing for this phase will depend on SACC securing funding to develop its section of the building or on the City's assessment of the necessity for the Community Event Space. This space could potentially replace the event space at the Agriplex and help expand the fifty-five-plus programs offered there.

The project involves developing an acoustically designed 400-seat symphony theatre with removable acoustic backstage wall, a foyer with west windows to the Argyle Pedestrian Path, additional washrooms, a rehearsal hall, office space, 200 non-fixed tables and chairs event space, three movable walls between theatre and event space, event space and 6218 and 6218 and East Concourse for a larger event space, 100 seat restaurant with a commercial kitchen to cater the event space, the theatre and open to serve users of this section of the Concourse, access to the roof top patio, freight elevator, interior loading dock and waste management.

Vertical access from the entrance level at grade is via a large elevator and stairs to the second-level parking and to the third-storey Concourse Level, with space for two future escalators.

A Parking Garage POS would be added inside this entrance.

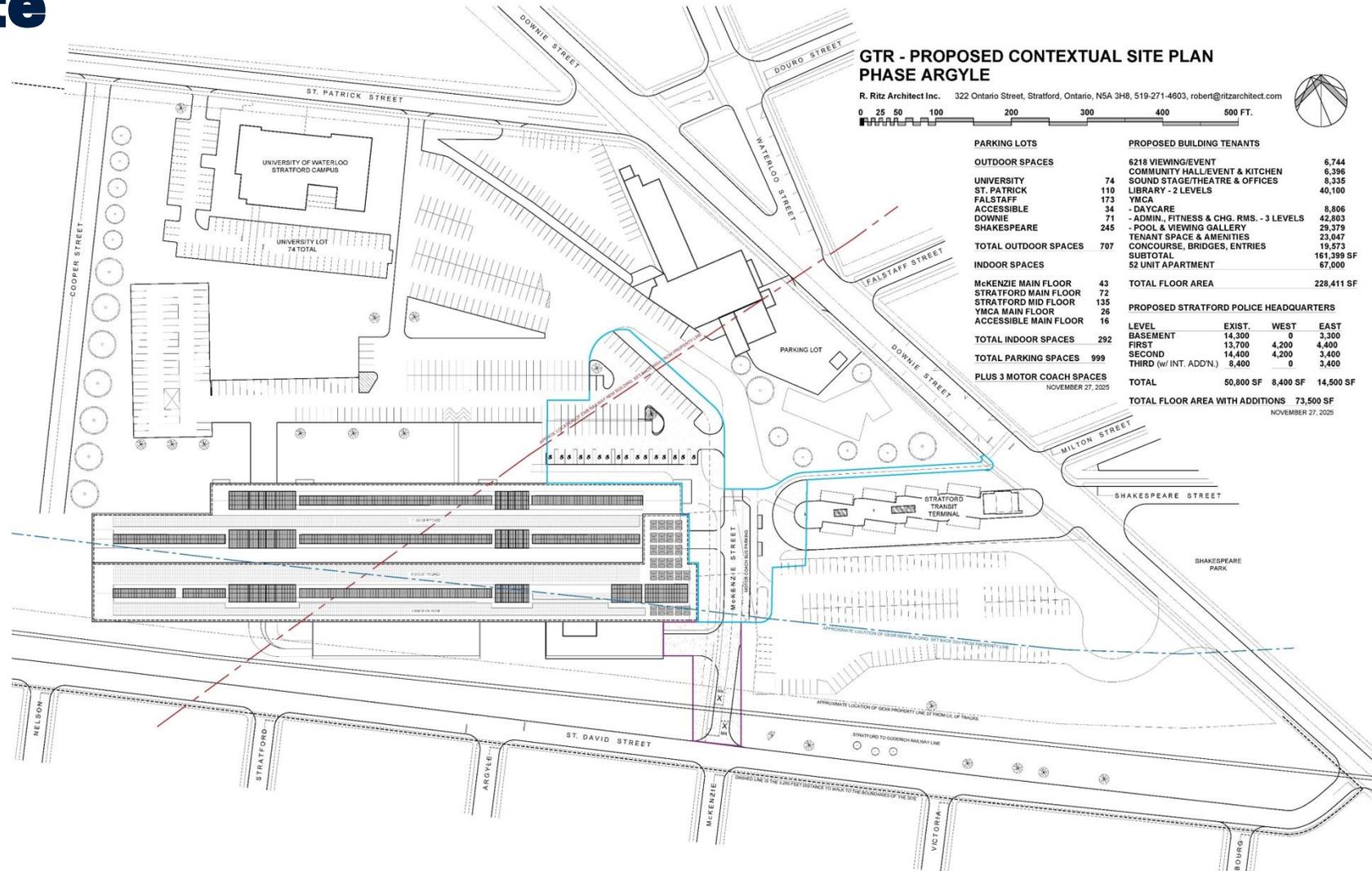
A living wall honouring the region's indigenous peoples is proposed for installation above and around the elevator.



PHASE A – Argyle Entrance & East Concourse

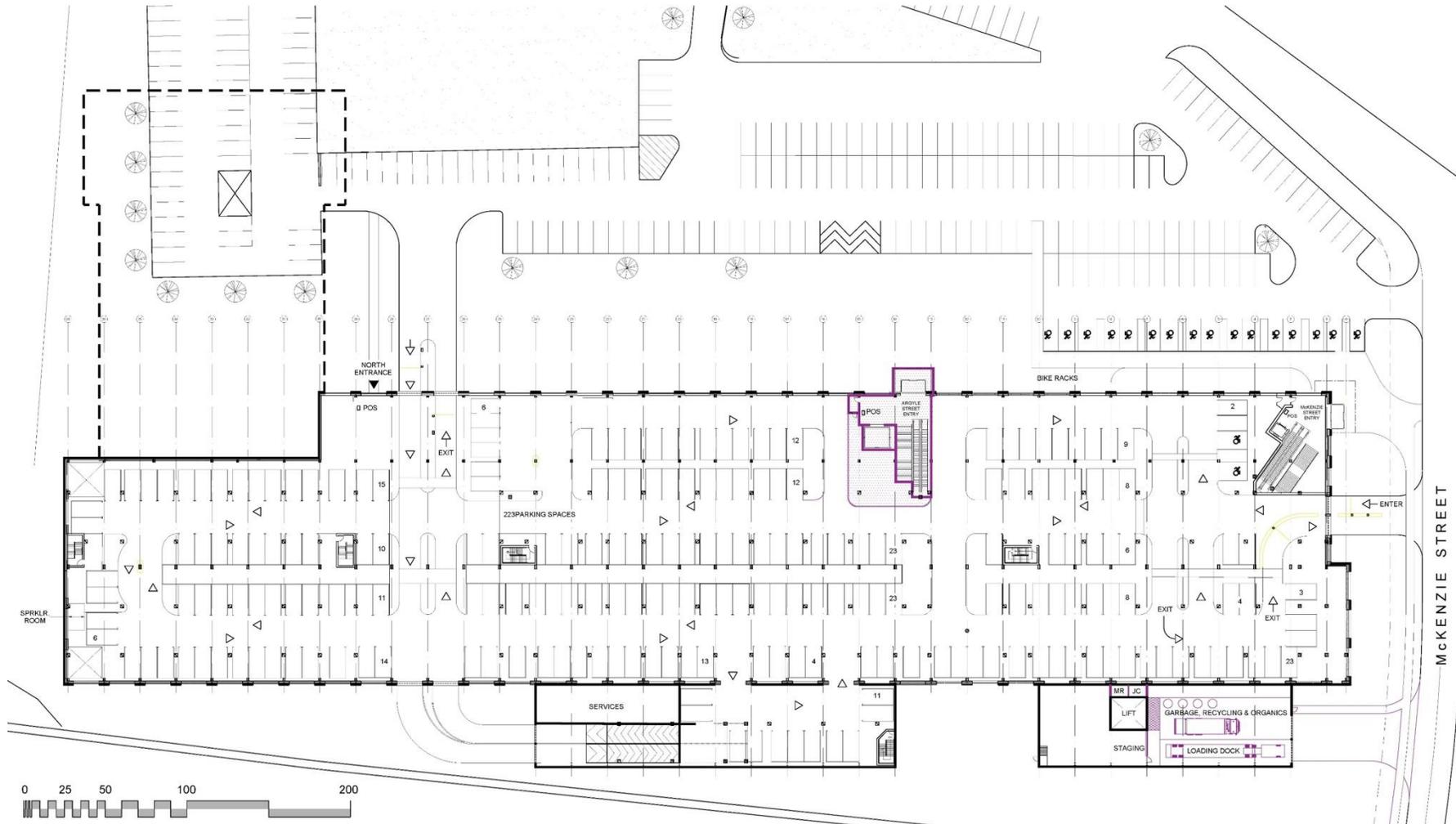
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- Site



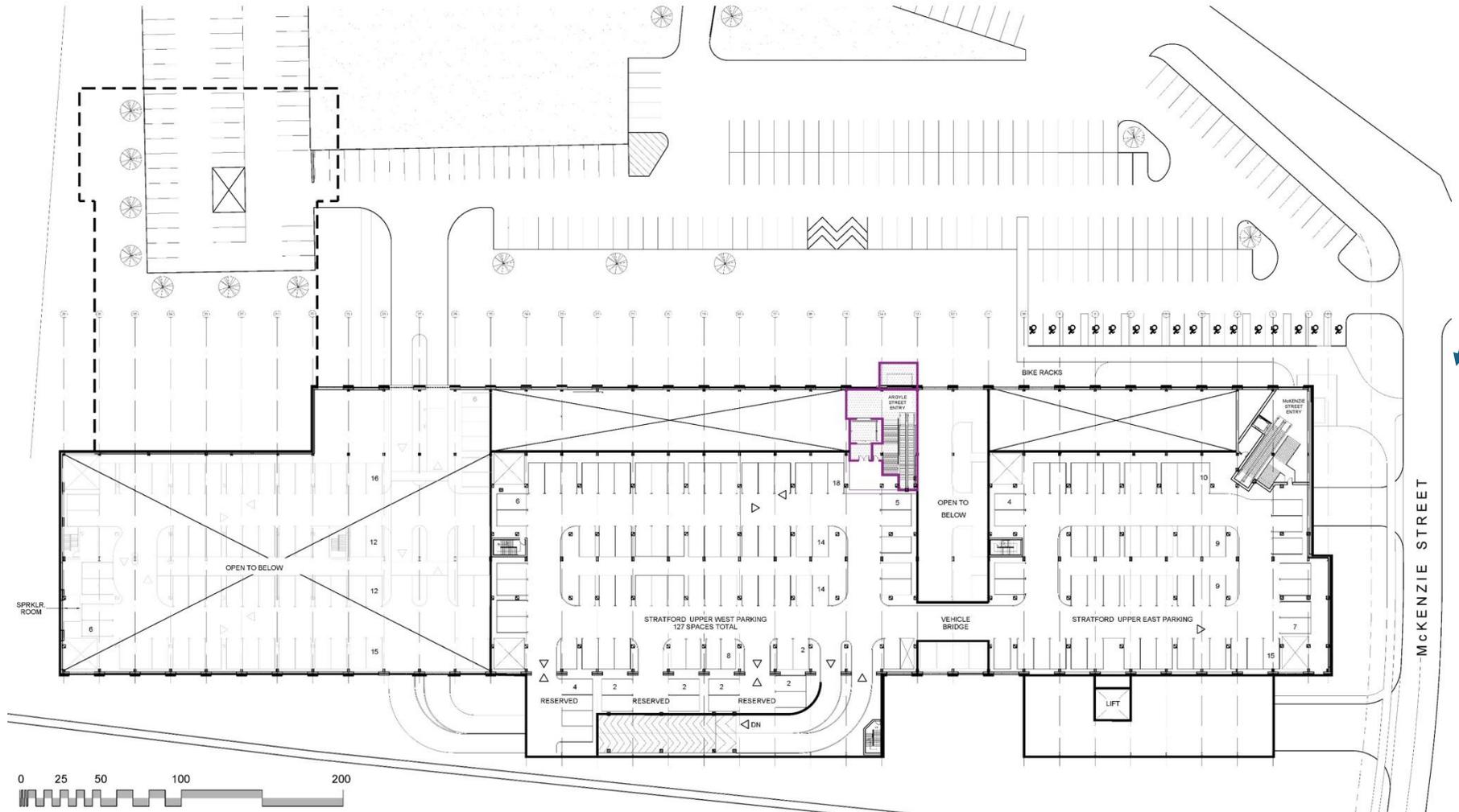
PHASE A – Argyle Entrance & East Concourse **- First**

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PHASE A – Argyle Entrance & East Concourse **- Second**

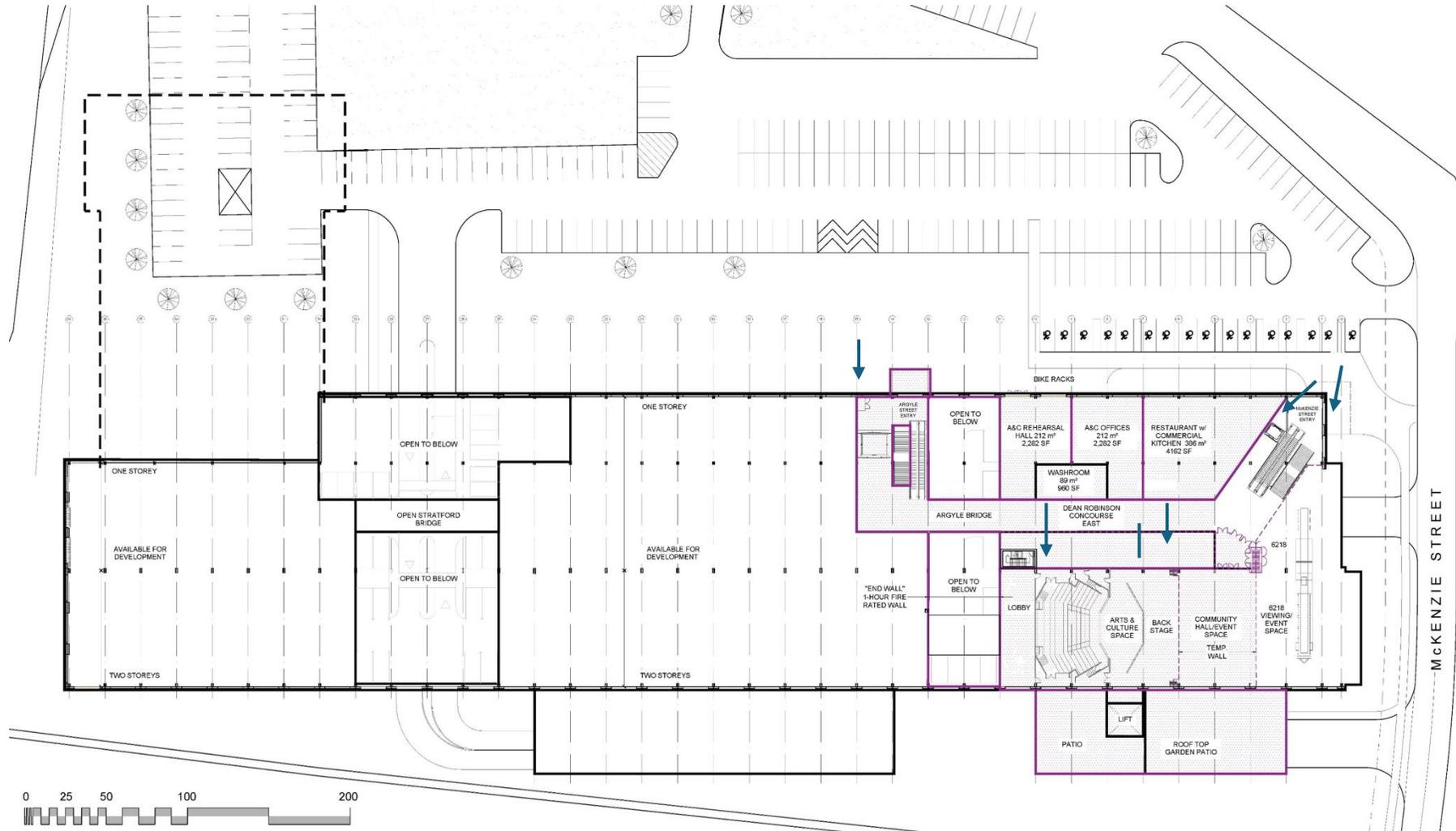
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PHASE A – Argyle Entrance & East Concourse

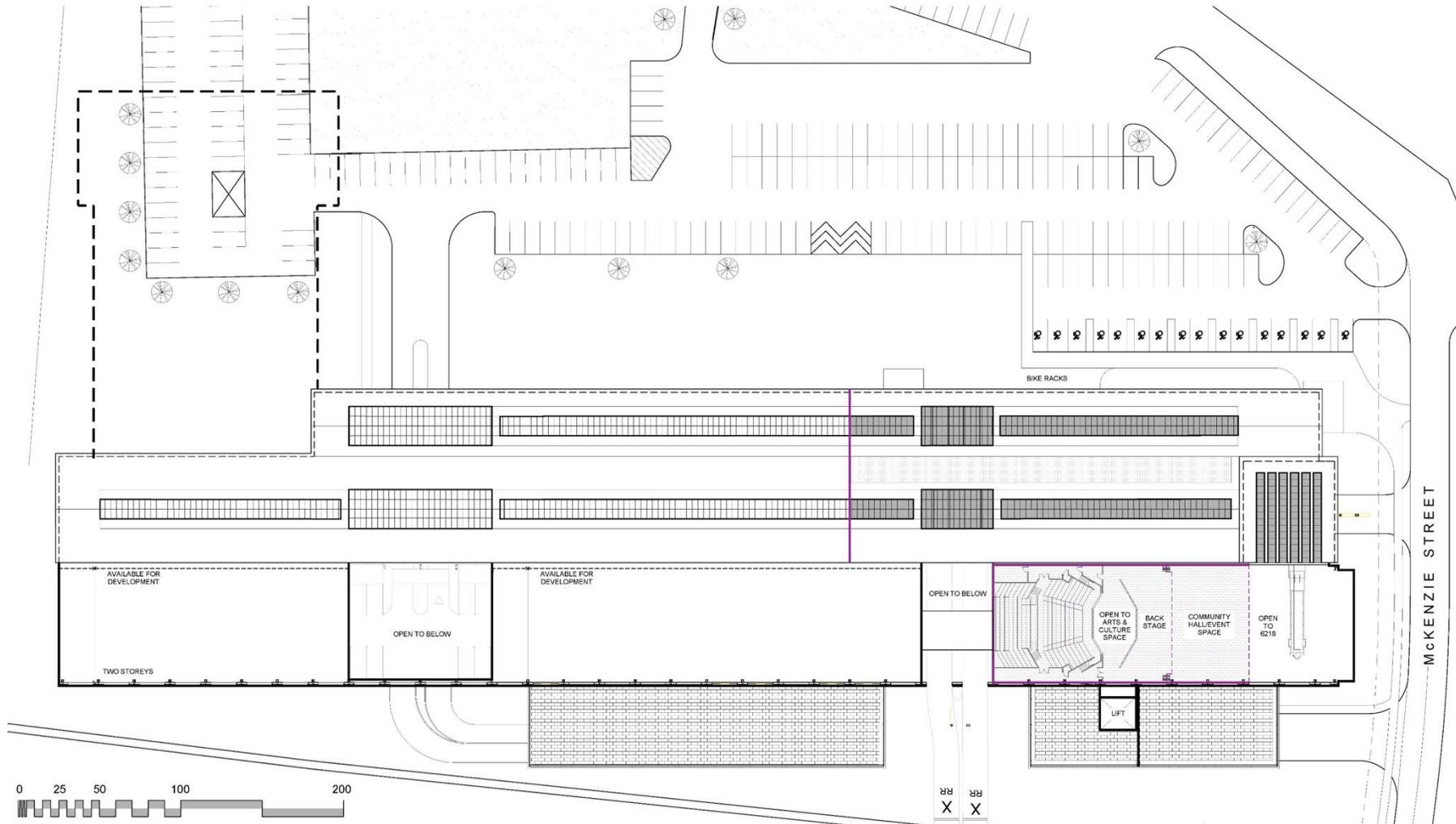
- Second

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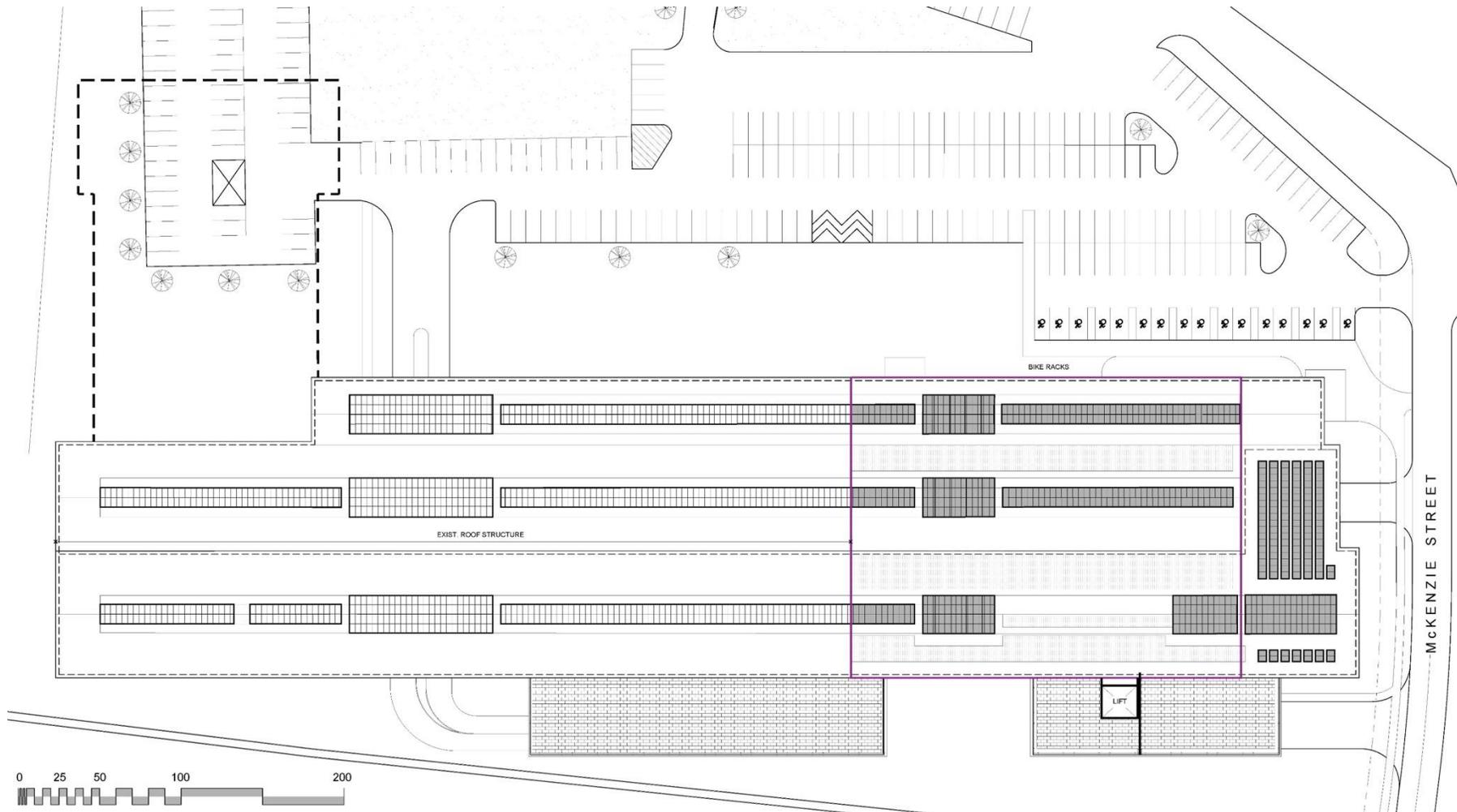
PHASE A – Argyle Entrance & East Concourse **- Roof/Fourth**

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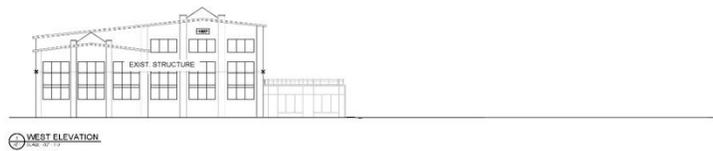
PHASE A – Argyle Entrance & East Concourse **- Roof**

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PHASE A – Argyle Entrance & East Concourse **- Elevation**

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PHASE S – Stratford Entrance, Childcare, Library, Clinic, West Concourse

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PHASE S – Stratford Entrance, Childcare, Library, Clinic, West Concourse

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Phase S – Stratford – the development of the Childcare, Library, Medical Clinic and West Concourse. The timing for this phase will depend on when these tenants can secure funding to develop this section of the building.

The project entails developing a Childcare facility operated by the YMCA, serving 98 children, with an outdoor play space on a rooftop patio. Additionally, it will include a 40,000 square feet two-level Library with exterior windows on three sides and access to a dedicated rooftop patio. Accessibility between levels within the Library is provided by a LULA. The Library's area may be reduced if it shares facilities with the theatre, event space, and the 6218 display area. This phase also includes developing an 11,460 SF municipally managed Medical Clinic.

Vertical access from the entrance level at grade is via a large elevator and stairs to the second-level parking and to the third-storey Concourse Level, with space for two future escalators.

The Parking Garage POS will be moved to the interior of this entrance, replacing the Temporary North Entrance.

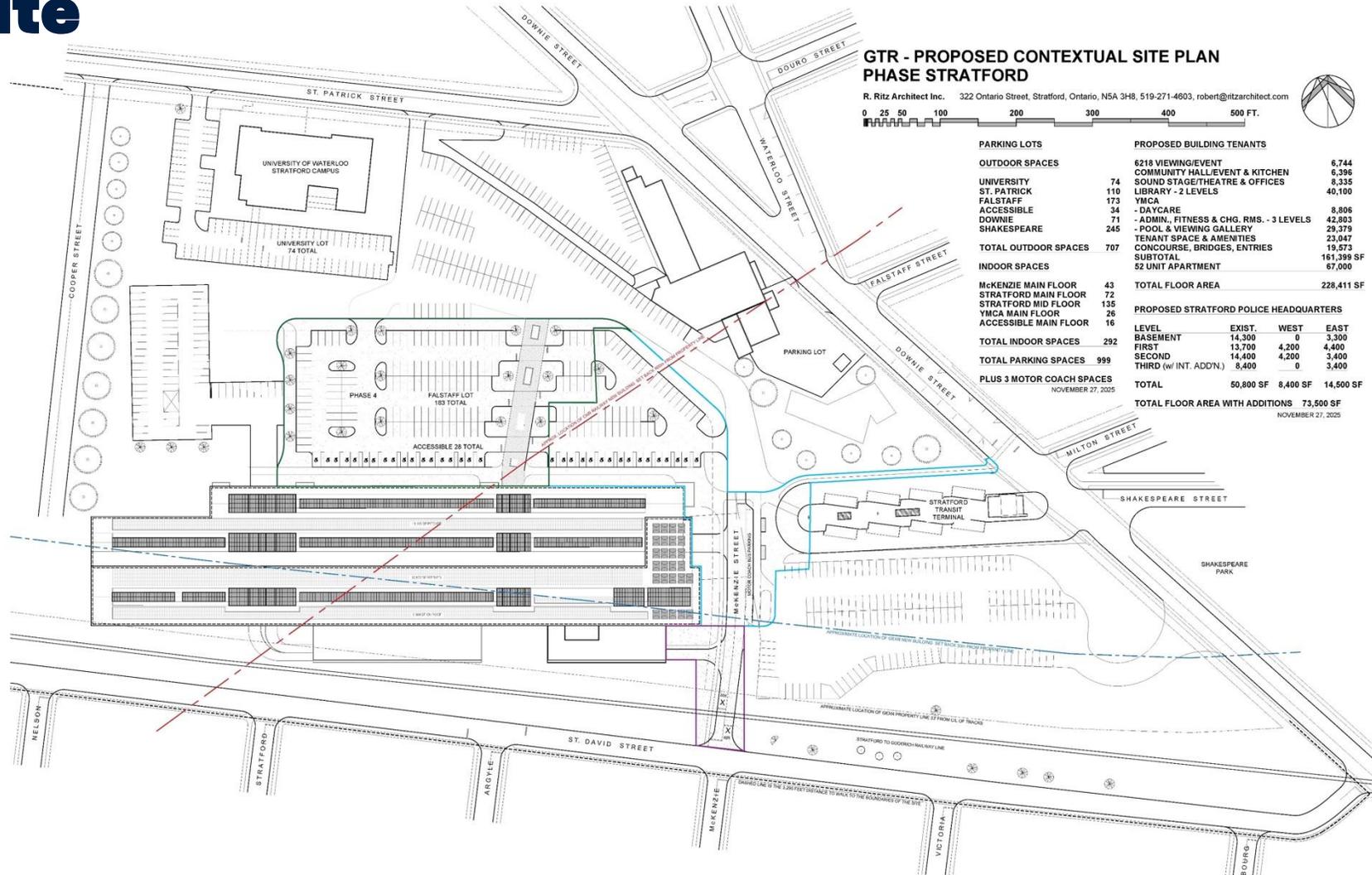
A living wall honouring the region's indigenous peoples is proposed for installation above and around the elevator.



PHASE S – Stratford Entrance & West Concourse

RR

- Site



GTR - PROPOSED CONTEXTUAL SITE PLAN PHASE STRATFORD

R. Ritz Architect Inc. 322 Ontario Street, Stratford, Ontario, N5A 3H8, 519-271-4603, robert@ritzarchitect.com

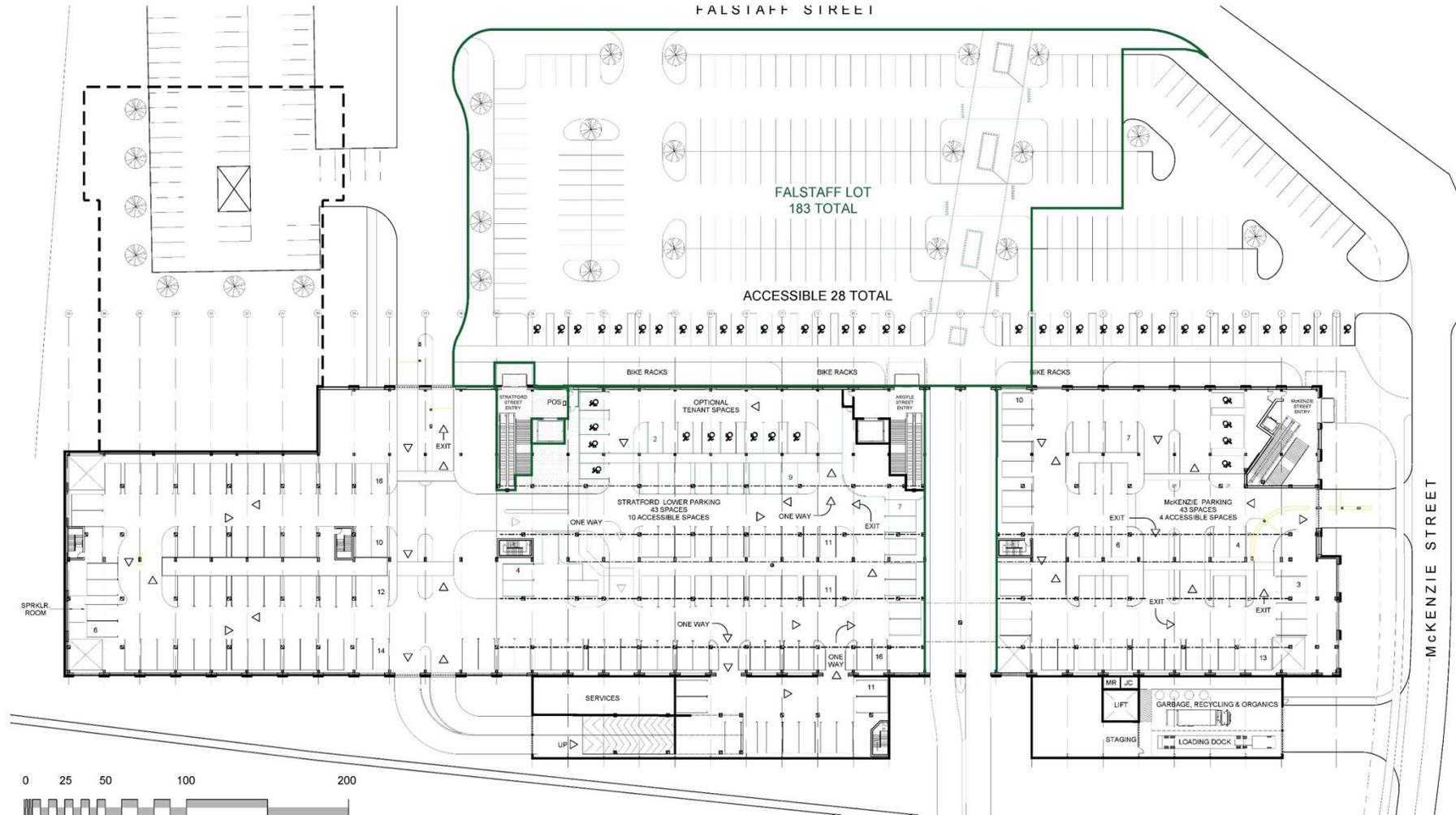


PARKING LOTS		PROPOSED BUILDING TENANTS			
UNIVERSITY	74	6218 VIEWING/EVENT	6,744		
ST. PATRICK	110	COMMUNITY HALL/EVENT & KITCHEN	6,396		
FALSTAFF	173	SOUND STAGE/THEATRE & OFFICES	8,335		
ACCESSIBLE	34	LIBRARY - 2 LEVELS	40,100		
DOWNIE	71	YMCA			
SHAKESPEARE	245	- DAYCARE	8,806		
TOTAL OUTDOOR SPACES	707	- ADMIN., FITNESS & CHG. RMS. - 3 LEVELS	42,803		
INDOOR SPACES		- POOL & VIEWING GALLERY	29,379		
MCKENZIE MAIN FLOOR	43	TENANT SPACE & AMENITIES	23,047		
STRATFORD MAIN FLOOR	72	CONCOURSE, BRIDGES, ENTRIES	19,573		
STRATFORD MID FLOOR	135	SUBTOTAL	161,399 SF		
YMCA MAIN FLOOR	26	52 UNIT APARTMENT	67,000		
ACCESSIBLE MAIN FLOOR	16	TOTAL FLOOR AREA	228,411 SF		
TOTAL INDOOR SPACES	292	PROPOSED STRATFORD POLICE HEADQUARTERS			
TOTAL PARKING SPACES	999	LEVEL	EXIST.	WEST	EAST
PLUS 3 MOTOR COACH SPACES	NOVEMBER 27, 2025	BASEMENT	14,300	0	3,300
		FIRST	13,700	4,200	4,400
		SECOND	14,400	4,200	3,400
		THIRD (w/ INT. ADDN.)	8,400	0	3,400
		TOTAL	50,800 SF	8,400 SF	14,500 SF
		TOTAL FLOOR AREA WITH ADDITIONS	73,500 SF		
			NOVEMBER 27, 2025		



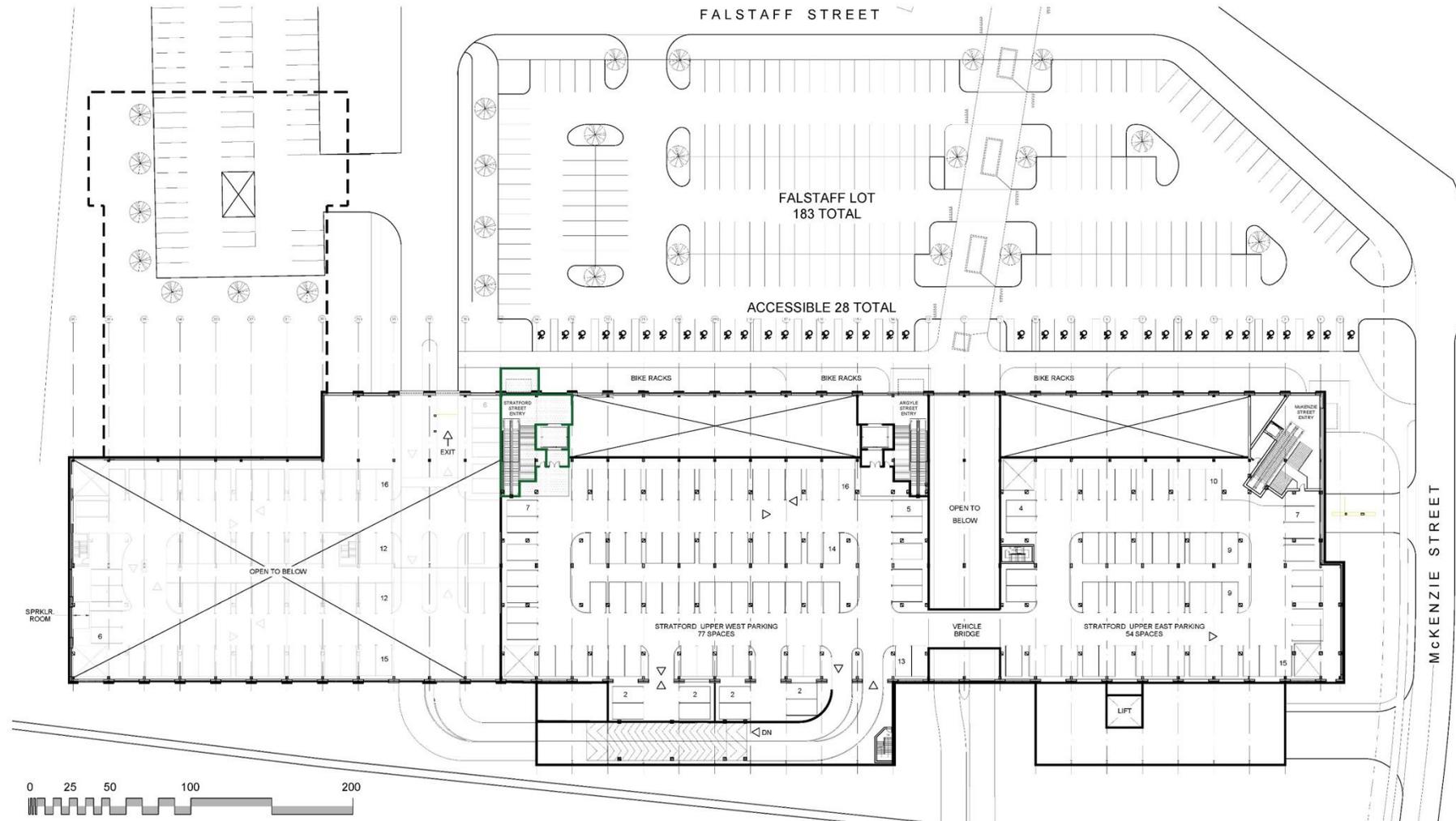
PHASE S – Stratford Entrance & West Concourse RR

- First



PHASE S – Stratford Entrance & West Concourse RR

- Second

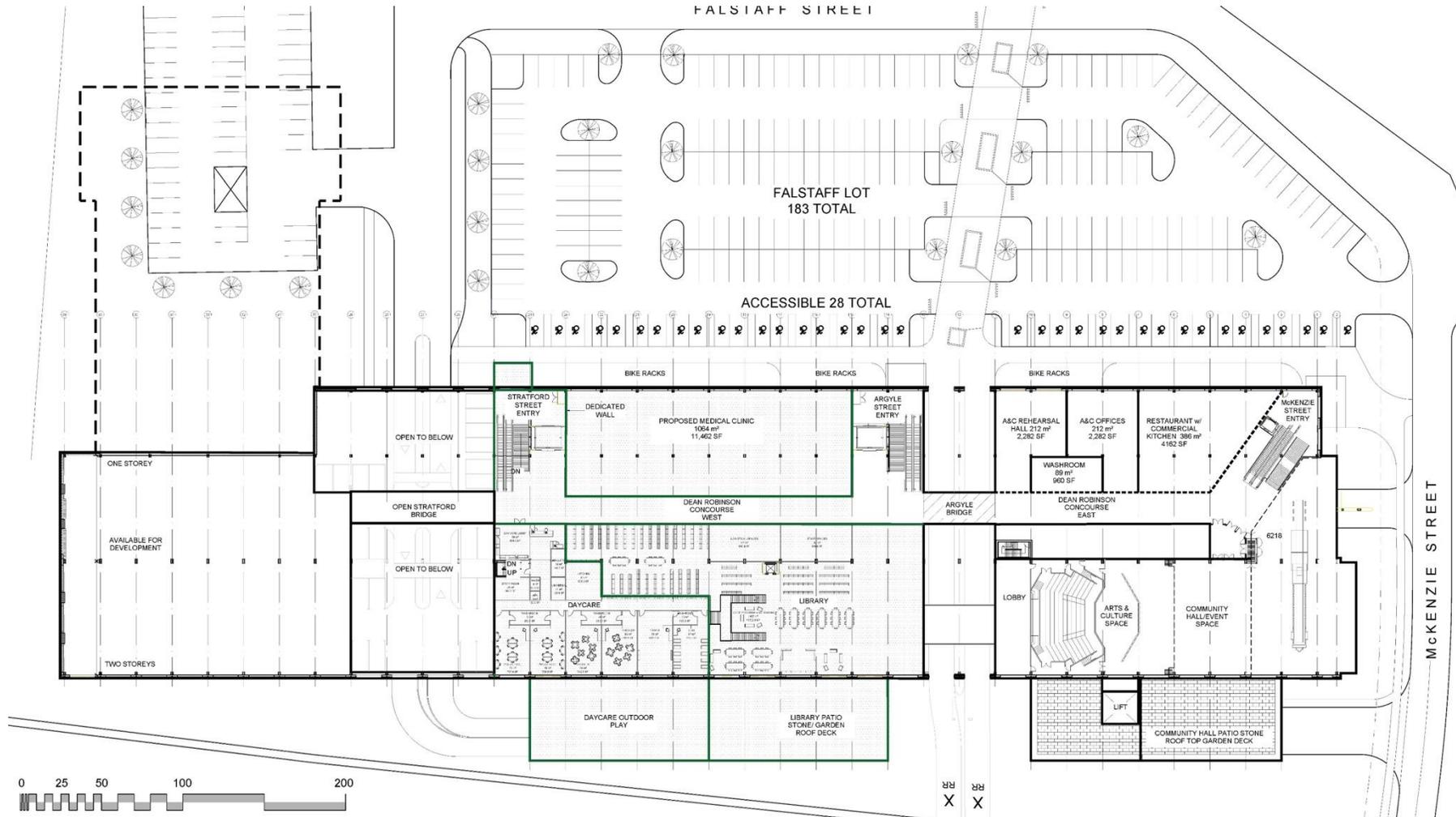




PHASE S – Stratford Entrance & West Concourse

- Third - Concourse

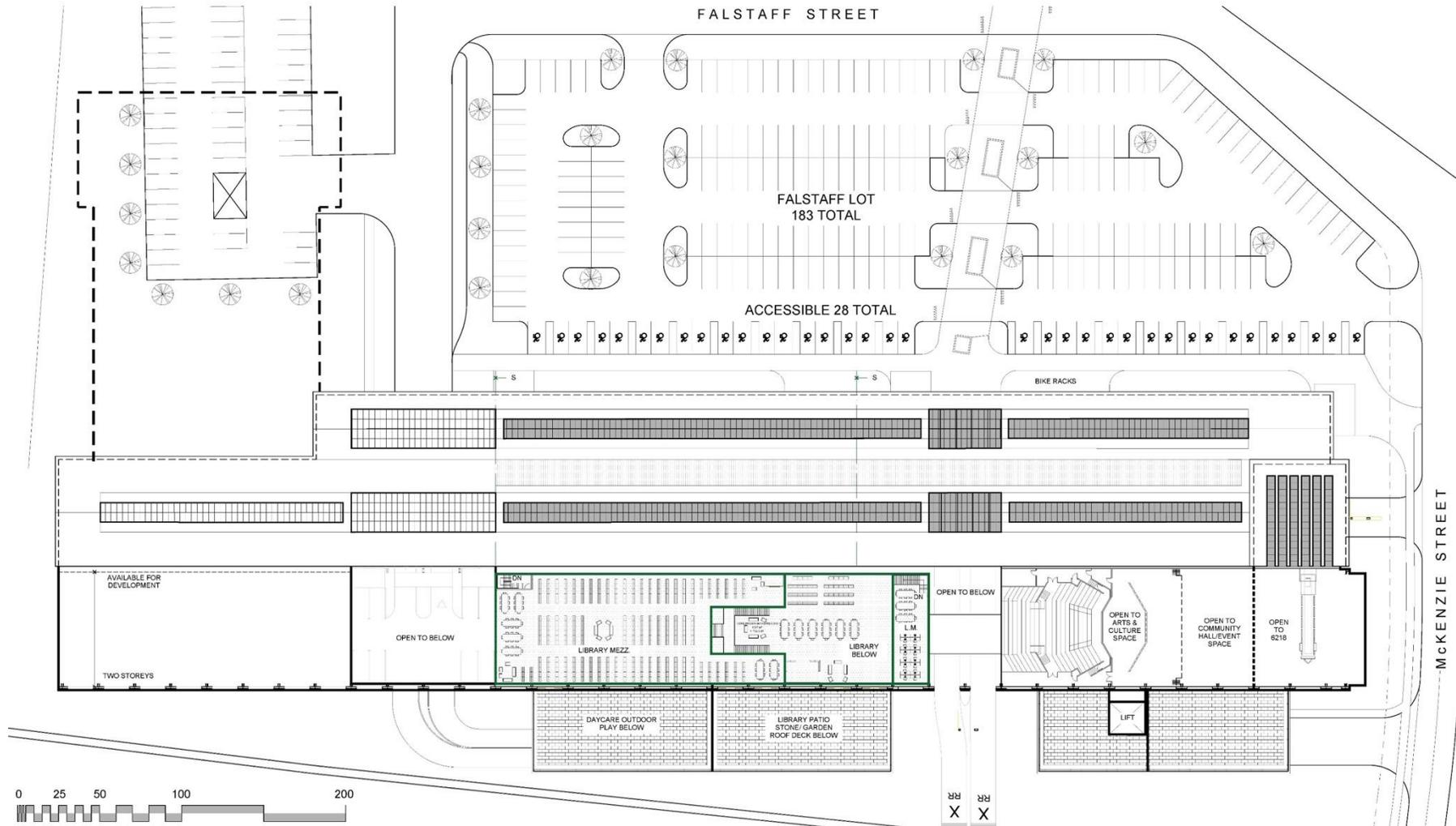
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PHASE S – Stratford Entrance & West Concourse

- Fourth

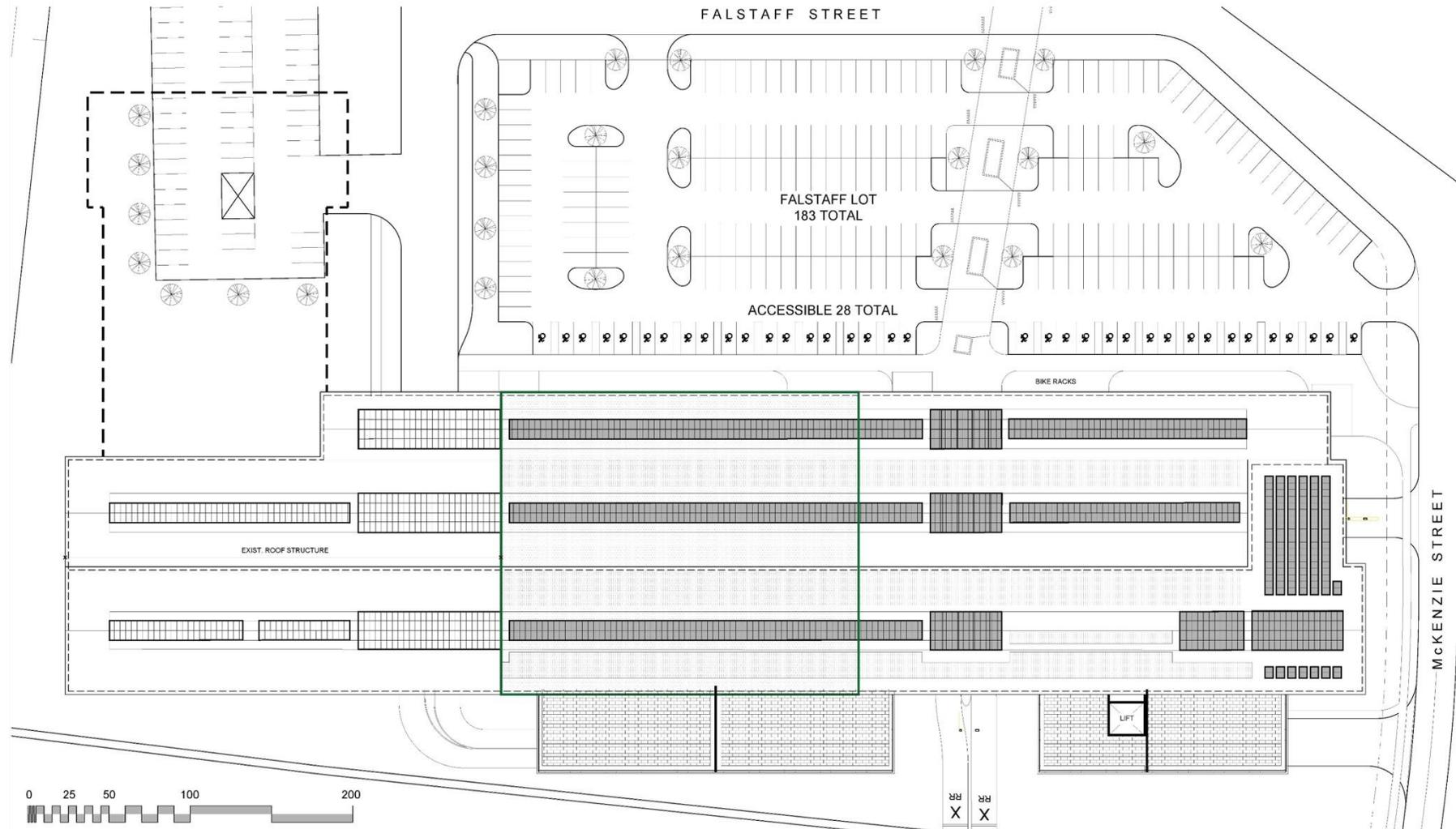
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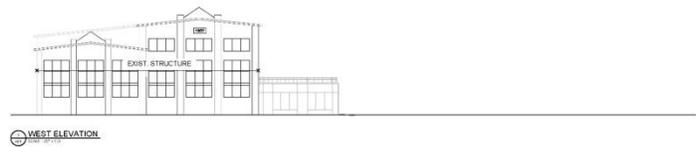
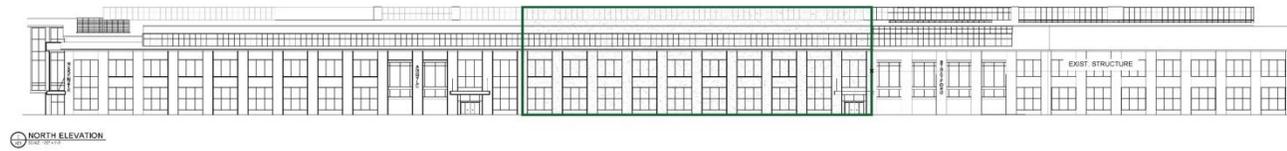
PHASE S – Stratford Entrance & West Concourse

RR

- Roof



PHASE S – Stratford Entrance & West Concourse RR **- Elevations**



PHASE Y – YMCA & Apartment Building

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PHASE Y – YMCA & Apartment Building

RR

Phase Y – YMCA – The development of the Community Aquatic Centre addition with a seven lane 25m Olympic pool, activity pool, learn to swim pool and splash pad operated by the YMCA. On the first storey, which is a two-level space, the YMCA offices and change rooms are located in the 65-foot bay, and a 32-space parking garage is in the 70-foot bay for future expansion. There is no second storey. On the third storey, there is a YMCA entrance from the Concourse Level, featuring a gym and squash courts in the 70-foot bay, with a fitness room and other amenities in the 65-foot bay. The eight-storey, 52-unit Apartment is built over the Olympic pool, with a 52-space parking garage beneath the Aquatic Centre, providing vehicle and service access to Cooper Street. An elevator within the YMCA provides accessibility between levels, and the Apartment and its Parking Garage are served by two high-speed traction elevators. The Apartment building is connected to the Concourse Level via an enclosed, elevated walkway through the Aquatic Centre, which also serves as a Viewing Gallery for the pools. Over time, the 40-foot bay first-storey parking could be developed into retail shops with north wall storefronts.

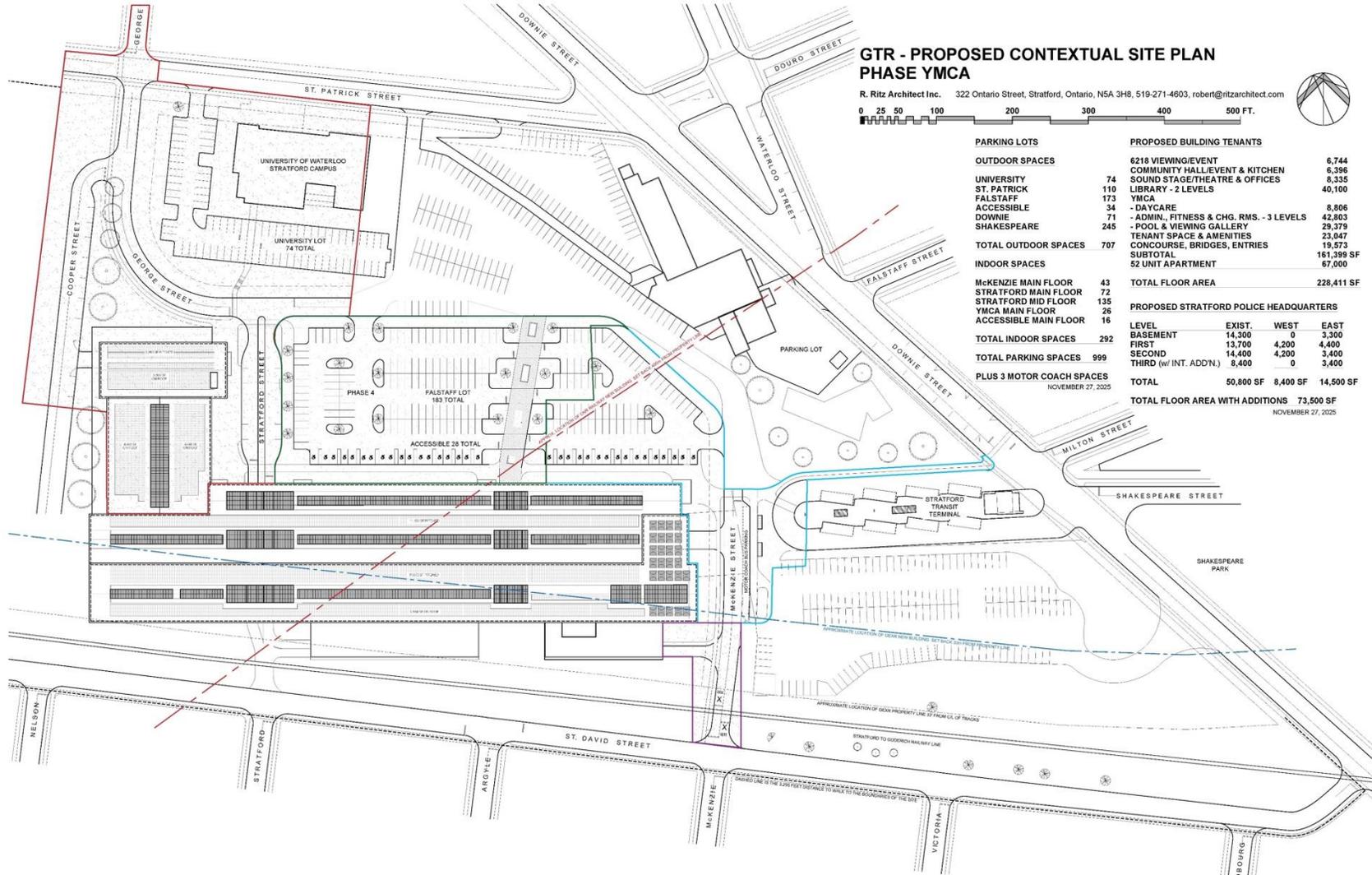
This phase is dependent on the sale of the existing YMCA building. If Council decides to place SPS HQ at the existing YMCA, it will provide funds for the YMCA to invest in the GTR building. If SPS wants to develop the existing YMCA sooner rather than later, Phase Y would be among the first phases to proceed.

The profit from the Apartment will cover the cost of soil remediation in the area where both the Aquatic Centre and the Apartment are located. Additionally, these funds will cover the capital costs to develop the three entrances and the building's common spaces. The taxes generated by the Apartment will also help cover the building's common-area operating costs.



PHASE Y - YMCA & Apartment Building - Site

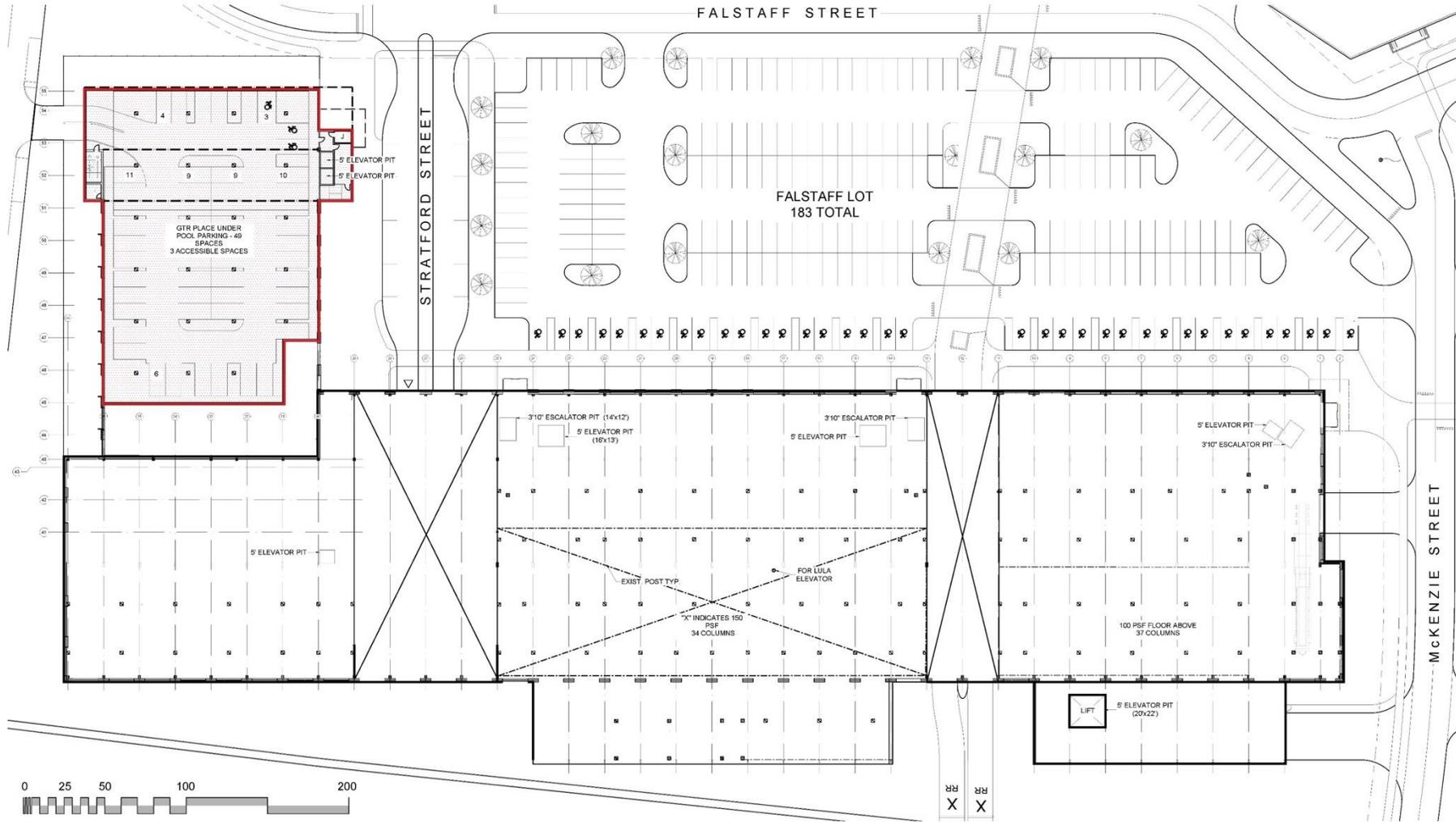
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PHASE Y – YMCA & Apartment Building

- Basement 2

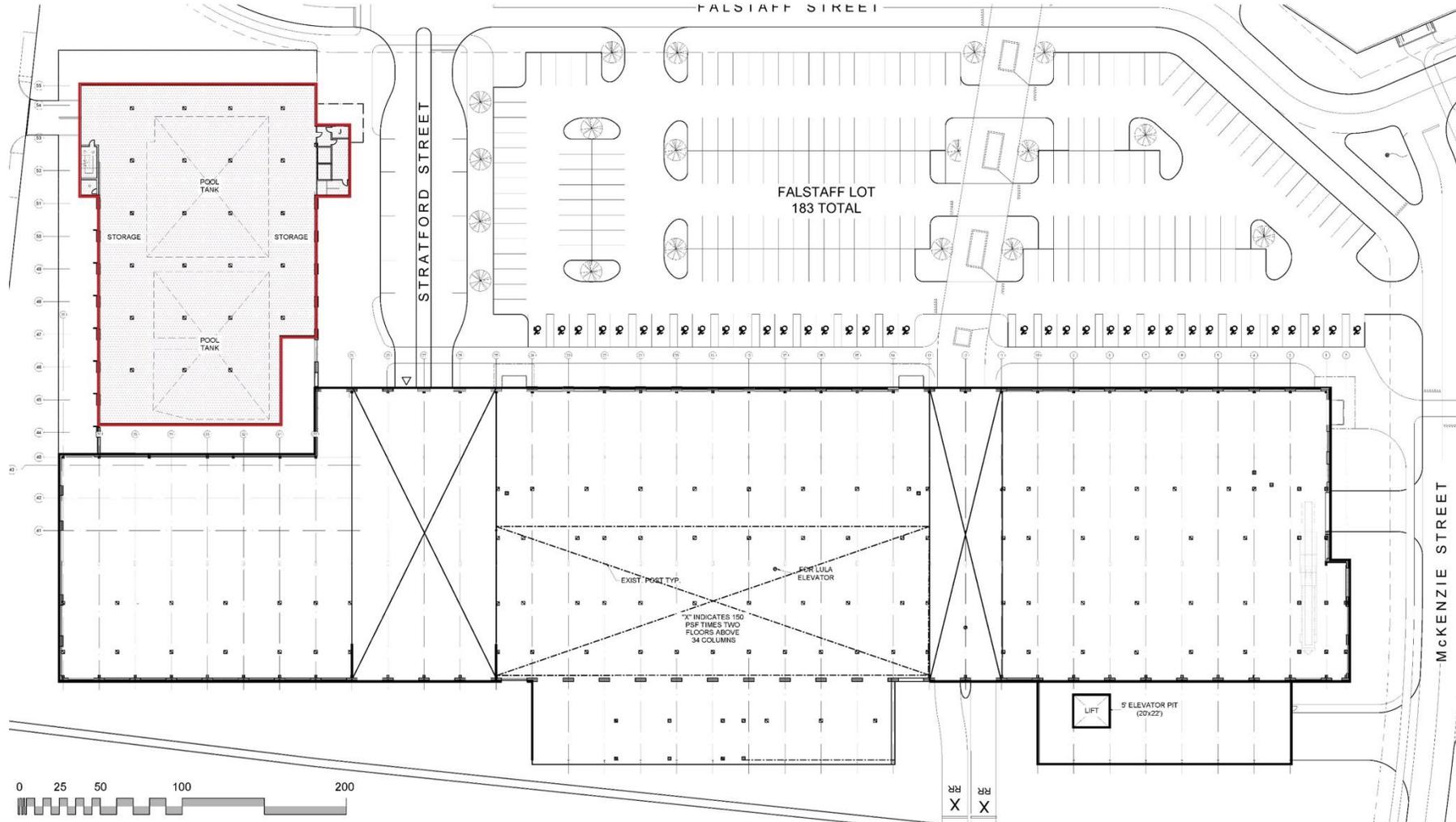
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PHASE Y – YMCA & Apartment Building

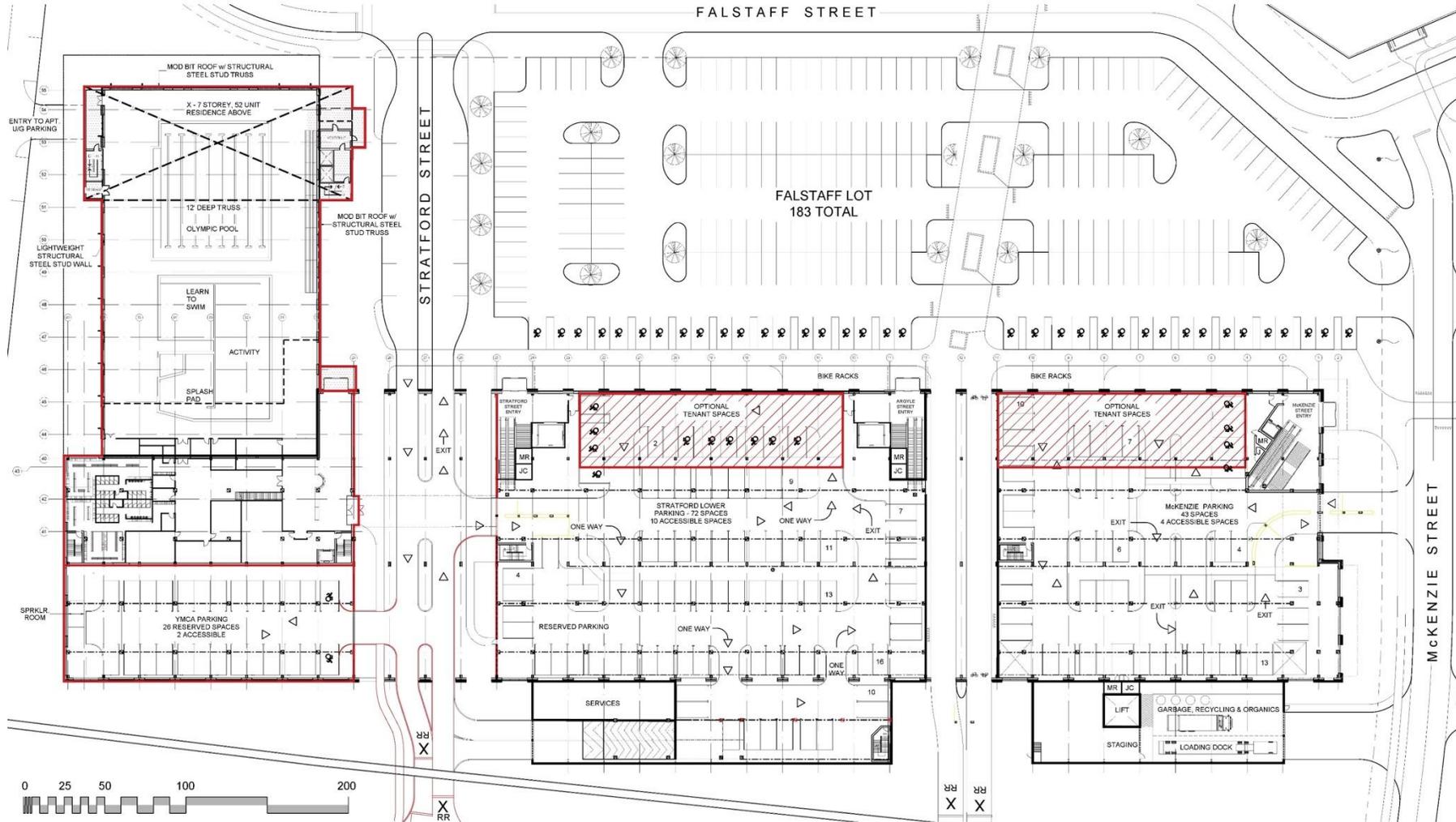
- Basement 1

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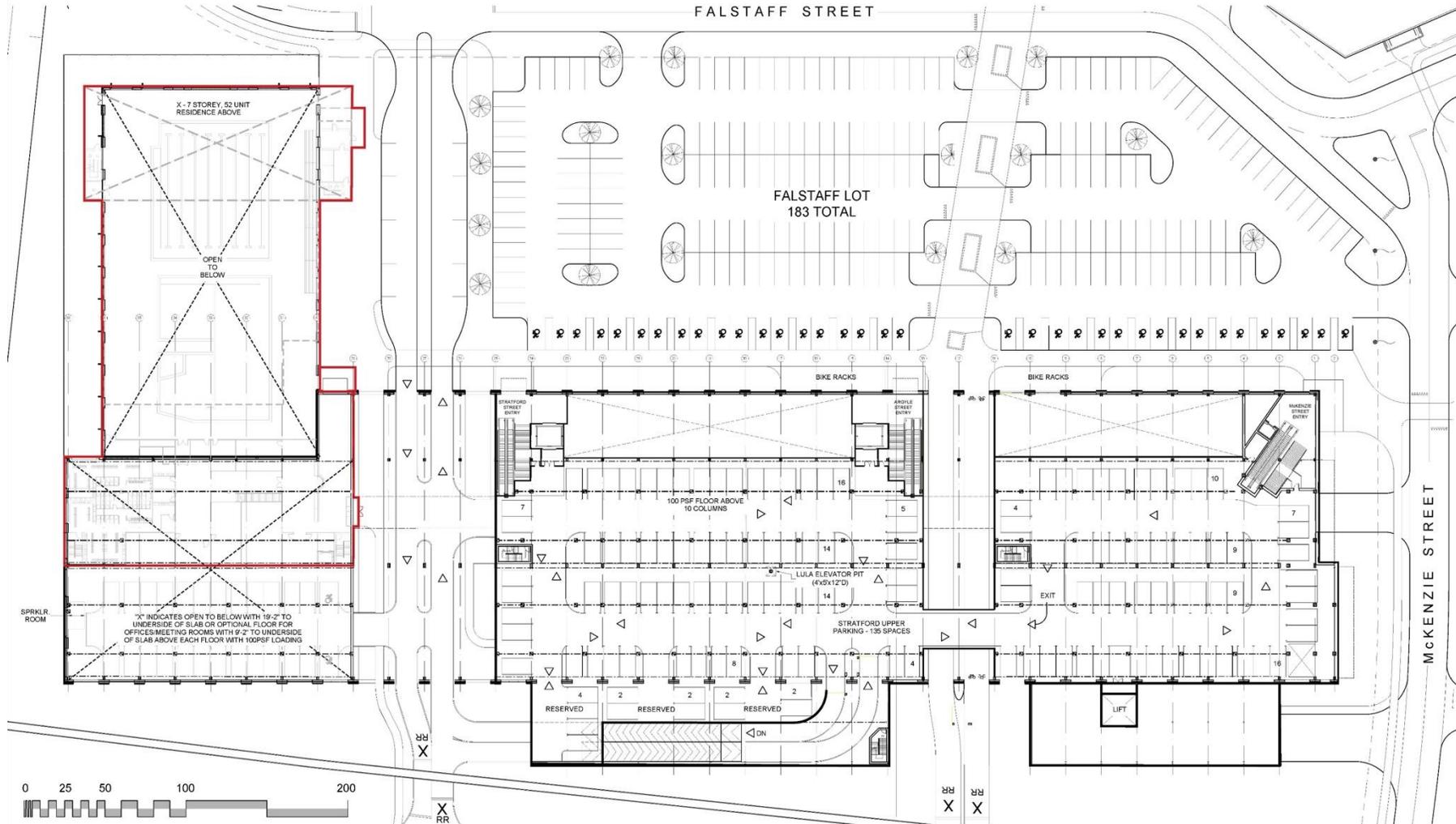
PHASE Y – YMCA & Apartment Building - First

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PHASE Y – YMCA & Apartment Building - Second

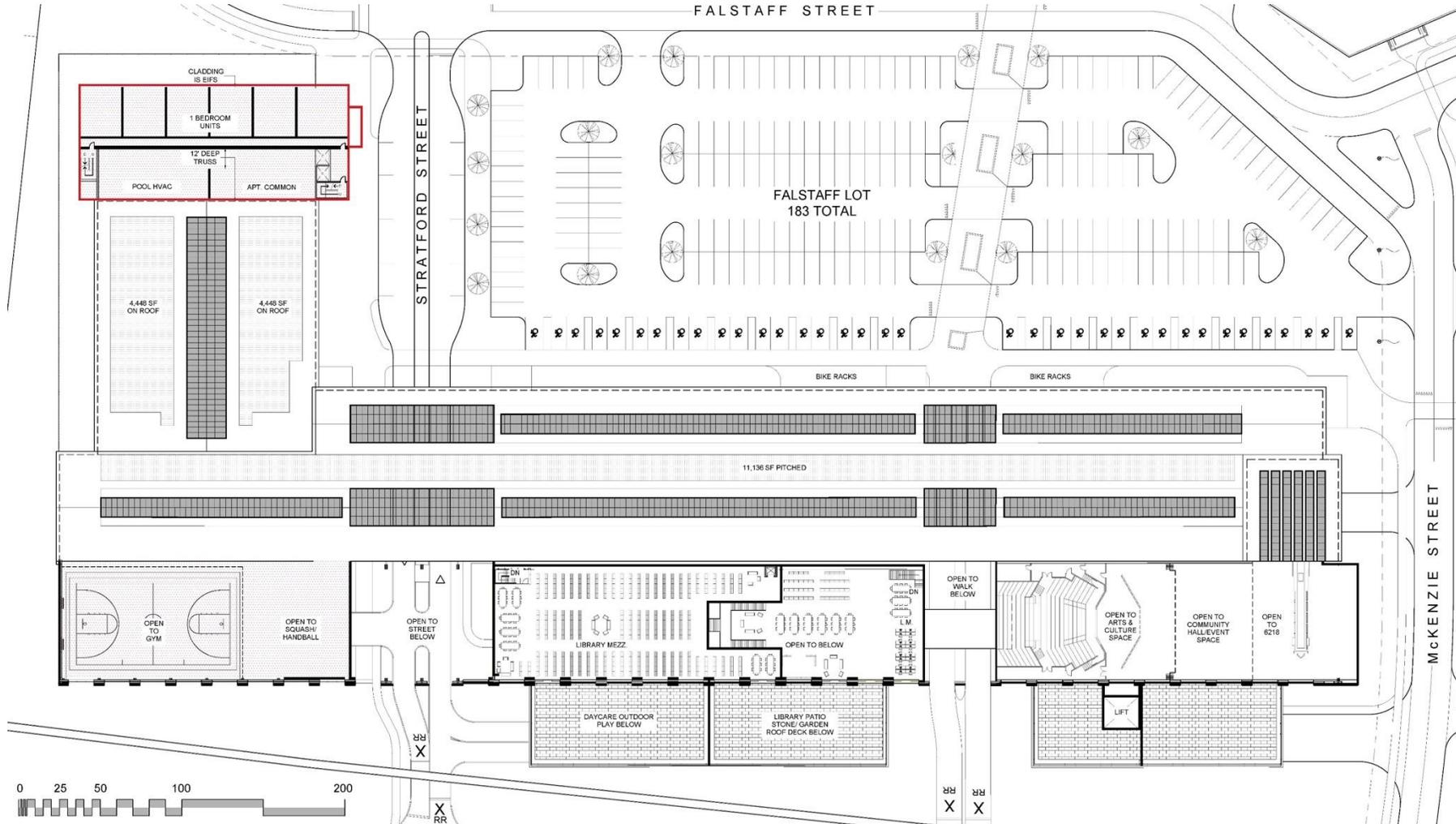
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PHASE Y – YMCA & Apartment Building

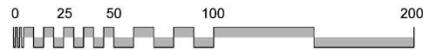
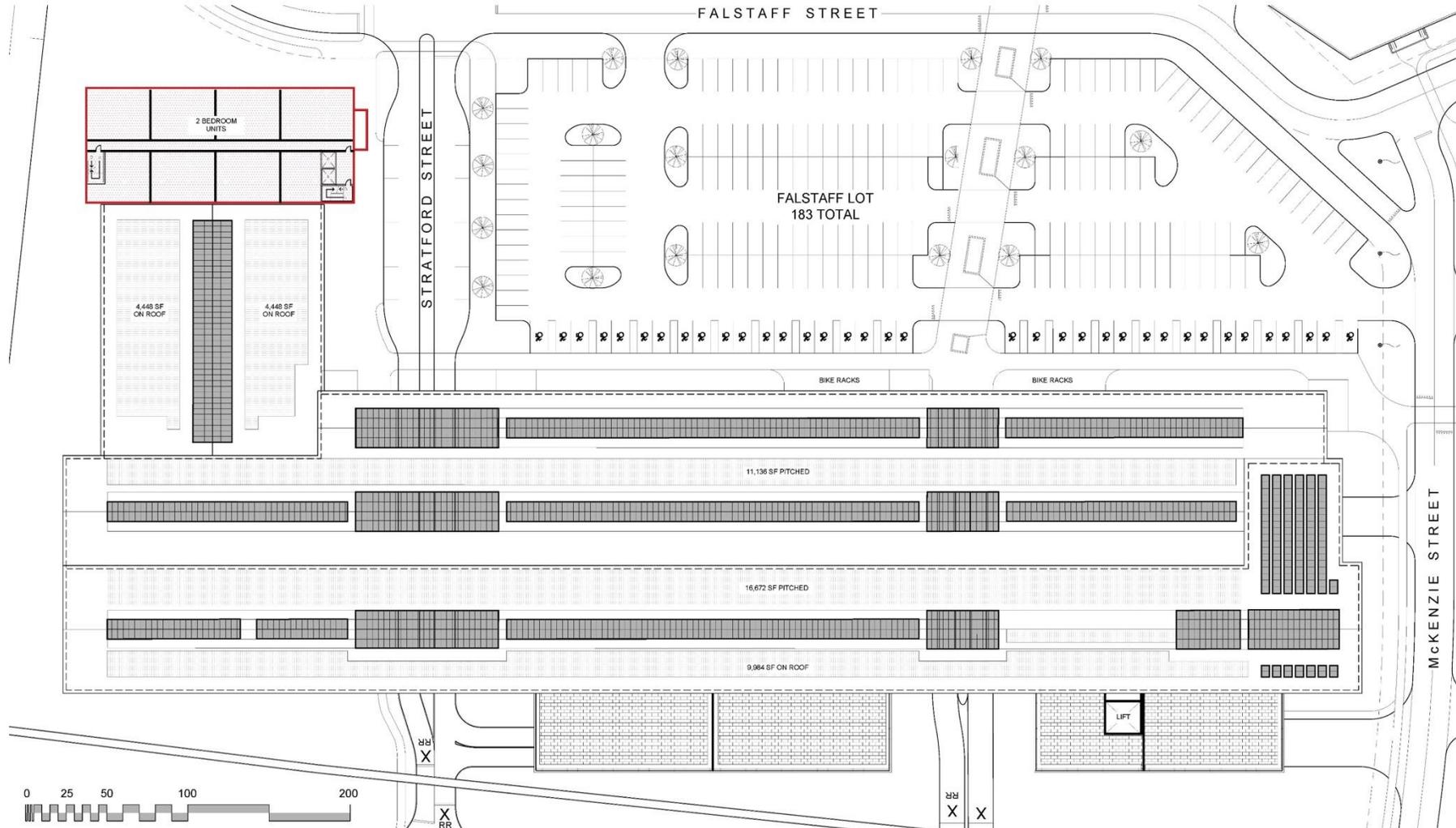
– Fourth/Roof

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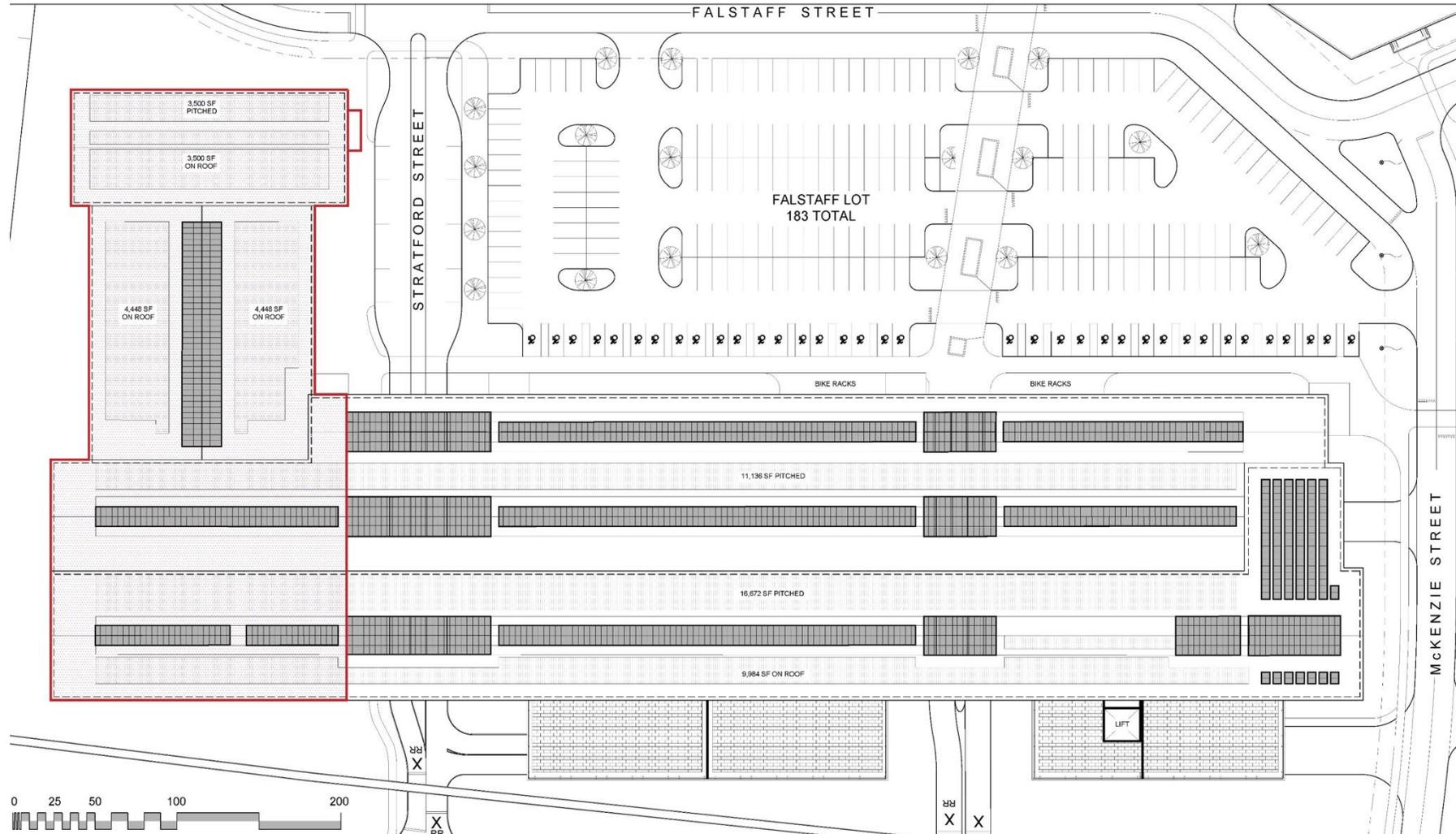
PHASE Y – YMCA & Apartment Building **– Roof/Fifth to Eighth**

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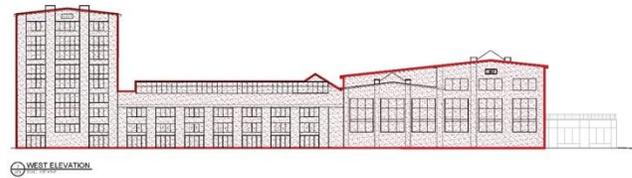
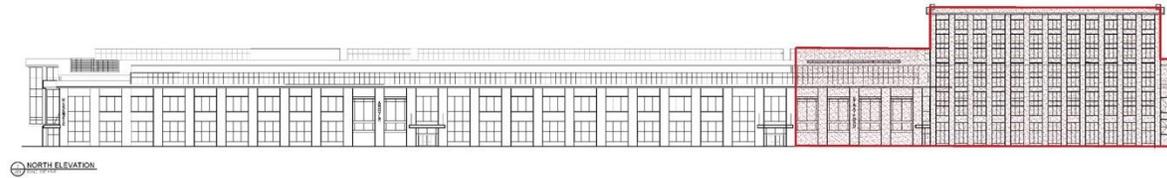
PHASE Y – YMCA & Apartment Building – Roof

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PHASE Y – YMCA & Apartment Building **– Elevations**

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PHASE P – Police Station (SPS HQ)

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PHASE P – Police Station (SPS HQ)

RR

Phase P – POLICE STATION – The development of the SPS HQ is a renovation and an addition to the existing YMCA. The proposed addition will be on the west side of the building and will include a first-storey garage designed to conceal the movement of apprehended individuals from public view as they are transferred from the police cruiser to the booking and processing area. Above the garage, office space will be created.

Renovations will involve adding the floor to the third storey within the existing gym to create additional office space. Furthermore, the first-storey extension over the pool area will serve as an ideal location for the booking and processing area as well as holding cells, since it is adjacent to and at the same level as the garage addition. These modifications will increase the building's total area to 50,800 square feet. Other interior renovations will include removing the shallow end deck of the pool to provide level access to the former pool tank, allowing this space to be developed into a multi-level SWAT training room. The number of change rooms required will be fully renovated to a new condition, and the remaining basement areas will be converted into a handgun range, fitness room, and file storage. The upper levels of the building will be fully renovated to provide the necessary office spaces.

Additionally, a new HVAC system will be installed. The building's steel structure will facilitate renovations to easily convert it into a post-disaster facility. The existing building will also undergo recladding, with insulation values upgraded to current standards, and a new main entrance, marked by a bold cantilevered canopy, will be located on the south side, facing Falstaff Street. This building could accommodate a three-storey addition with a basement on the east side, adding 14,500 square feet for a total building area of 73,700 square feet.

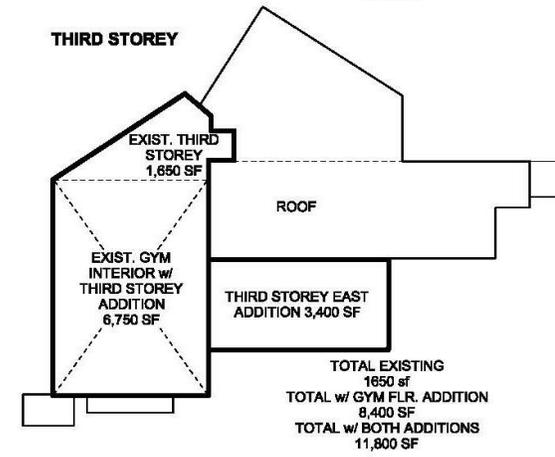
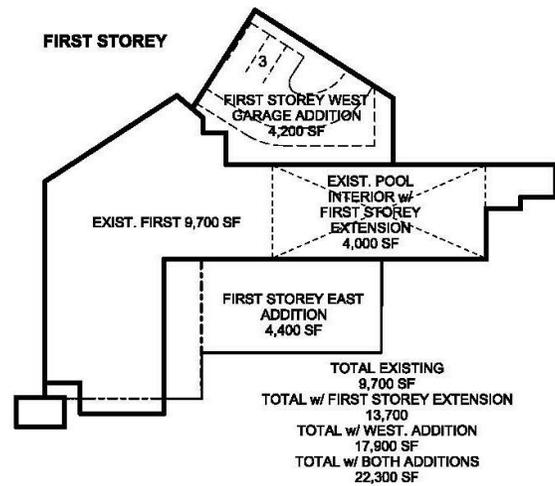
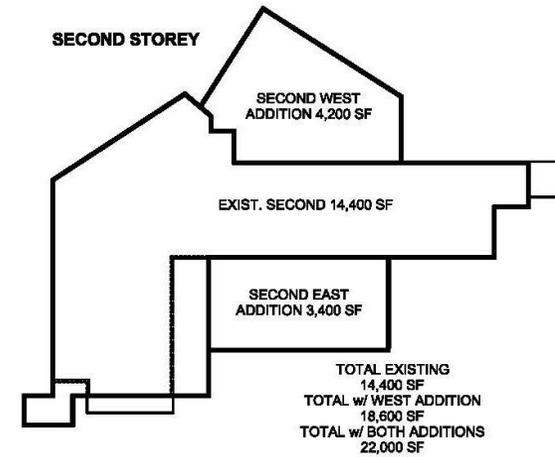
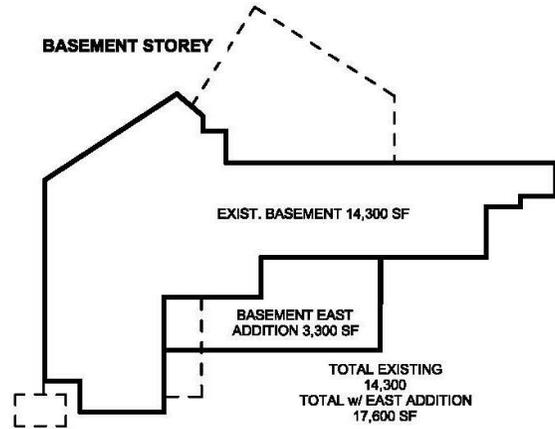
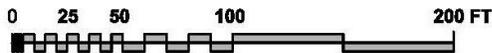
If Council purchases the existing YMCA and repurposes it into SPS HQ, it will provide funds for the YMCA to invest in their development in the GTR Building. If SPS wants to move sooner rather than later, this phase would follow immediately after the YMCA opens in the GTR Building.

PHASE P – Police Station

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- Area plans of repurposed existing YMCA

TOTAL EXISTING BUILDING AREA
40,050 SF
TOTAL EXISTING BUILDING w/ FIRST
STOREY FLR. EXTENSION OVER
POOL
44,050 SF
TOTAL EXISTING BUILDING w/ THIRD
STOREY FLR. ADDED IN GYM
46,800 SF
TOTAL EXISTING BUILDING w/ FIRST
STOREY EXTENSION & THIRD
STOREY IN GYM
50,800 SF
TOTAL EXISTING BUILDING w/ FIRST
STOREY EXTENSION & THIRD
STOREY IN GYM w/ FIRST STOREY
GARAGE & SECOND STOREY
OFFICE WEST ADDITION
59,200 SF
TOTAL EXISTING BUILDING w/ FIRST
STOREY EXTENSION w/ THIRD
STOREY IN GYM w/ FIRST STOREY
GARAGE & SECOND STOREY
OFFICE WEST ADDITION & THREE
STOREY OFFICE EAST ADDITION
73,700 SF



PHASE P – Police Station - Site

RR

